

COMMISSION ACTION FORM

SUBJECT: REZONE PROPERTY LOCATED AT 259 AND 263 HYLAND AVENUE FROM “RH” (RESIDENTIAL HIGH-DENSITY ZONE) AND “O-UIW” (WEST UNIVERSITY IMPACTED OVERLAY DISTRICT) TO “RH” AND “O-WUPED” (WEST UNIVERSITY PEDESTRIAN ENHANCEMENT OVERLAY DISTRICT) WITH A MAJOR SITE DEVELOPMENT PLAN

BACKGROUND:

259 Hyland Avenue is owned by Dayton Park, LLC and 263 Hyland Avenue is owned by Adventure Investments, LLC, both represented by Chuck Winkleblack. The applicant proposes to rezone and redevelop the two existing lots (See the Location Map). Both properties are currently zoned Residential High-Density Zone “RH” with the West University Impact Overlay. The 259 Hyland site contains a duplex and 263 Hyland contains an apartment building. Both buildings would be demolished to accommodate future development.

The proposed project will maintain the base RH zoning, but will amend the applicable overlay from West University Impact (O-IUW) to the new “O-WUPED” (West University Pedestrian Enhancement District). The O-WUPED was recently created to implement Ames Plan 2040 policies supporting walkable urban infill within the Residential Neighborhood Walkable Urban (RN-4) land use designation. RN-4 encourages higher density housing, walkability, and redevelopment that creates a high-quality built environment and sense of place (see the attached Plan 2040 Excerpt). The O-WUPED is to be applied on a case-by-case basis to property along Hyland and Sheldon Avenues.

The benefit of the proposed Overlay zoning compared to existing zoning is an increase in allowable density and reduced parking when new buildings are designed to the standards of the Overlay District. The Overlay includes standards and design principles to guide the design of a site to support both compatibility with the existing multi-family character of the area and to encourage intensification with high interest urban design elements and material quality. **In order to approve a rezoning request to O-WUPED, an application must include concurrent review of a Major Site Development Plan to determine if a proposed project design is consistent with the O-WUPED and achieves the purpose of the District. The Addendum includes the purpose and establishment requirements for the rezoning.**

Major Site Development Plan

The proposed project is the first project to be reviewed with the new zoning. The applicant was the impetus for initial request for the creation of the O-WUPED zoning with a vision to redevelop two sites into one new development. The project has evolved substantially since the original concept from spring 2025 to the project proposed today. Initially the site

was to be redeveloped in one phase with one building oriented to Hyland. The applicant later determined that due to site conditions and timing a two building and two-phase project would be more feasible, which is the current proposal.

The applicant has included a narrative that accompanies the MSDP to articulate their approach to the project design and consistency with the standards and design principles. The O-WUPED standards are mandatory elements of compliance while the design principles are written as design guidelines to help shape the features of the project that will conform to the purpose of the O-WUPED. Essentially, if a project achieves the Design Principles it should be in conformance with the O-WUPED purpose. Some design latitude is permitted through various alternative design tools of the Zoning Ordinance for landscaping and 20% setbacks reductions along with the application of the design principles to the project. The applicant refined the plans for the past few months culminating in this application.

Staff worked with the applicant's design team to address the Design Standards and Principles for the project as it evolved and became more consistent with the O-WUPED. The Overlay identifies a preference for traditional residential design, but also allows for contemporary design with flat roofs as is proposed. Staff provided feedback regarding three challenging issues for the design and the site related to Building A's front setback along with Building B's approach to Hyland architectural relief and design emphasis regarding the primary entrance facing Oakland.

The proposed development will be built as two independent sites. There will be no sharing of parking, access, setbacks, etc. A concurrent boundary line adjustment accompanies the project to establish property lines that match the proposed project sites. The applicant plans to proceed this fall with the 259 Hyland site and then proceed with the 263 Hyland site next summer. Each site is evaluated for consistency with the O-WUPED. Each site includes requested design relief for alternative design features and application of design principles.

259 Hyland Avenue – Building A

The property located at 259 Hyland Ave is approximately 0.27 acres. The building is 3-stories or approximately 37 feet tall. (see the attached Elevations for Building A details). The owner proposes 13 units for the building, 7 being one-bedroom units and 6 being two-bedroom units. The O-WUPED permits a density of 83 bedrooms per acre. Based on the proposal, 19 bedrooms are proposed, which is below the maximum bedroom density of 22.41 for the site.

The complete O-WUPED ordinance with its purpose requirements, standards, and design principles is included as an attachment for reference. A table summarizing major standards is below.

Summary Table Major Standards for Building A. Items with a * discussed below.

	Standard (allows 20% variation)	Proposed	Principle/Supplemental Standard
Front Setback*	25 Feet	15 Feet to Façade, 25 feet to garage entrance	Front setback reduction Supplemental Standard to 15 feet: <i>"15 feet for buildings with first floor residential units facing the street."</i>
Side Setback	10 feet (3-stories)	14 and 11 feet	None
Height	45 feet	41.25 feet	None
Rear Setback*	25 Feet	20.5 feet	None
Primary Façade Max. Setback	25 feet	15 feet	None
Materials	60% brick front façade	68% brick	High quality visually interesting and durable building materials should be used that include a mix of clay brick/masonry and contemporary cement board, wood, and metal paneling as materials to accentuate and create interest on the building. Brick and similar materials should wrap corners and be present on all facades to maintain design cohesiveness and interest.
Architectural Relief *	None	2-Foot Parapet Height, 8inch projecting window box, material emphasis	Buildings three-stories or greater in height or requesting reduced setbacks should minimize overall massing with relief in the building plane through recessed façade(s) of at least 30 inches, variable roofs forms, pitched roofs parallel to the primary façade, and other architectural treatments.
Windows	40 % of building length	49%	None
Accents	Architectural details to create visual interest	Brick soldier course, parapets, lintels, 8" projecting windows, varying material (brick, Hardie panel & board)	See Materials
Entrances *	One main	4x6 metal	-Building orientation shall

	pedestrian entrance per primary façade shall be recessed or framed by a sheltering element such as an overhang, arcade or portico providing at least six feet of width and four feet of depth that is architecturally integrated into the overall design.	overhangs	emphasize a front to a building, especially along Hyland Avenue, with an identifiable main building entrance. -Alternatively, the Council may approve a contemporary building design accentuating modern building materials and emphasizing vertical elements of a building with massing, roof elements, and corner connections to a street.
Coverage/ Open Space	None	66% impervious	None
Landscaping	Front Yard- Overstory trees, shrubs, grasses.	Front Yard ornamental trees and ground covers due to reduced front yard depth. Additional ornamental trees in rear yard for reduced setback.	None
Parking	1 Space per unit up to 2 Bedrooms	13 units = 13 parking stalls	Design to deemphasize parking appearance along the street.

Staff has highlighted the four specific applicant requests for Building A to support alternative design features and application of O-WUPED requirements as proposed with the MSDP that follow the table

- *Reduction in the rear yard setback to 20.5 feet from 25 feet.*
Although a single-family home exists to the rear of the site, the adjacent property is a very deep lot. The subject site is approximately 20 feet higher in elevation than the house on Campus Avenue. Originally the project would have been a combined site with a side setback requirement of 10 feet rather than a rear setback of 25 feet for a three-story building. Staff supports the alternative design request to reduce the rear yard setback to facilitate the project design. No specific landscape buffer was required, but the applicant has included ornamental trees in the rear to soften the transition.
- *Reduction of the walkway width to the front door from five feet to four feet adjacent to the driveway.*
Due to cross slope and the short distance to the street, staff supports this request.

- *The applicant requests that the Commission find the proposal consistent with the design principles for architectural relief for buildings 3-stories or greater in height or requesting reduced setback based upon the variable 2-foot parapet heights, 8-inch projecting window boxes, the changes in material with brick and siding to create visual interest. (Design Principle 7.b.)* The building is to be evaluated against all the design principles for orientation, entrance design, building materials, accents, etc. In this case the project includes many of the features listed in the principles, but does not achieve the recommended 30 inches of relief due to the site constraints and building size. Staff supports the design approach for Building A due to its limited façade length of 64 feet along the street as not necessitating substantial degrees of relief. The garage door is also inset to create some change in façade depth at ground level.
- *The applicant asks that the Commission support an interpretation the front setback can be further reduced from 20 feet to 15 feet as permitted by a supplemental design standard for units facing the street at ground level. (Supplement Design Standards)* **Staff does not believe that as designed the supplement standard supports a 15-foot setback. The 15-foot setback standard was designed for a building with multiple units facing a street with their access directly to the street, e.g. townhome or walk-up units. If a building does not have multiple units facing the street the minimum setback is required to be 20 feet with an alternative design approval.**

The applicant asks that having one unit on the ground floor and the access to the upper units facing the street can then benefit from the reduced setback. The applicant has stated that the building cannot be reduced in size to increase front setbacks without reducing parking and or units.

Staff believes that the appropriate approach to this building proposal is to seek a rear yard setback variance to allow the building to shift 5 feet towards the rear and create a 20-foot front setback to conform to the alternative design allowances. The 20-foot setback is also more in line with the existing front setbacks of apartment buildings in the area that are commonly at 25 feet.

The owner proposes landscaping for Building A that is consistent with the requirements of the zoning code. With the proposed reduced front yard 15-foot setback, overstory trees that are normally required with apartment buildings will not fit in the space. Substitute smaller trees are proposed as a result. If the setback increased overstory trees can be added returned to the landscape plan.

Access is proposed through a 20-foot driveway along Hyland Avenue. The O-WUPED allows for reduced driveway width to minimize the sidewalk crossings. Pedestrians can access the site through sidewalks along the south side yard or to the front door of Hyland adjacent to the driveway. No biked parking was specified for the building.

263 Hyland Avenue – Building B

The property located at 263 Hyland Avenue is 0.47 acres. The building is intended to develop during Phase 2 following the construction of Building A. The building is 4-stories or approximately 45 feet tall when calculating the average grade of the site (see the attached Elevations for Building B details). The owner proposes 19 units for the building, 10 being one-bedroom units and 9 being two-bedroom units. The building meets the density maximum for bedrooms in the O-WUPED, proposing 28 bedrooms and having a maximum allowance of 39 bedrooms for the site.

Summary Table Major Standards for Building B. Items with a * discussed below.

	Standard (allows 20% variation)	Proposed	Principle/Supplemental Standard
Front Setback*	25 Feet	20 Feet to Hyland Façade. 25 feet to Oakland.	Front setback reduction Supplemental Standard to 15 feet: <i>“15 feet for buildings with first floor residential units facing the street.”</i>
Side Setback	12 feet (4-stories)	15.37 feet and 51.8 feet	None
Height	45 feet	44.37 feet	None
Rear Setback	25 Feet	N/A on a Corner Lot (two sides and two fronts)	None
Primary Façade Maximum Setback*	25 feet	26.03 feet (corner of building at Oakland)	
Materials	60% brick front façade	64% (Hyland) & 60% (Oakland) brick	High quality visually interesting and durable building materials should be used that include a mix of clay brick/masonry and contemporary cement board, wood, and metal paneling as materials to accentuate and create interest on the building. Brick and similar materials should wrap corners and be present on all facades to maintain design cohesiveness and interest.
Architectural Relief*	None	2-Foot Parapet Height, 8inch projecting window box, material emphasis	Buildings three-stories or greater in height or requesting reduced setbacks should minimize overall massing with relief in the building plane through recessed façade(s) of at least 30 inches, variable roofs forms, pitched roofs parallel to the primary façade, and other architectural treatments.

Windows	40 % of building length	48% (Hyland) & 44% (Oakland)	None
Accents	Architectural details to create visual interest	Brick soldier course, parapets, lintels, 8" projecting windows, varying material (brick, Hardie panel & board)	See Materials
Entrances*	One main pedestrian entrance per primary façade shall be recessed or framed by a sheltering element such as an overhang, arcade or portico providing at least six feet of width and four feet of depth that is architecturally integrated into the overall design.	4x6 metal overhangs	-Building orientation shall emphasize a front to a building, especially along Hyland Avenue, with an identifiable main building entrance. -Alternatively, the Council may approve a contemporary building design accentuating modern building materials and emphasizing vertical elements of a building with massing, roof elements, and corner connections to a street.
Coverage/Open Space	None	63%	None
Landscaping	Front Yard- Overstory trees, shrubs, grasses. Parking Lot High Screen and Overstory Trees	Front Yard trees and ground covers. Alt Design for High Screen with Fence and Change of Trees	None
Parking	1 Space per unit up to 2 Bedrooms	19 units = 19 parking stalls/21 provided	Design to deemphasize parking appearance along the street.

Staff has highlighted specific applicant requests for Building B to support alternative design features and application of O-WUPED requirements as proposed with the MSDP:

- *Maximum setback of 26.25 feet from Oakland rather than 25 feet.*
Staff supports this relief as it applies to a corner of the building and the almost all of the façade is otherwise at 25 feet along Oakland.
- *Reduction in the Hyland front yard setback to 20 feet from 25*
The applicant narrative states 22 feet, but the site plan is set at 20 feet. Staff generally supports the reduction to 20 feet, the front yard space is similar to typical 25-foot front setbacks along Hyland. Standard front yard landscaping for

apartments can still be accomplished with trees. However, staff addresses building relief options related to height and setback below.

- *The applicant requests that the Commission find the proposal consistent with the design principles for architectural relief for buildings 3-stories or greater in height or requesting reduced setback based upon the variable 2-foot parapet heights, 8 inch projecting window boxes, the changes in material with brick and siding to create visual interest. (Design Principle 7.b.)* The building is to be evaluated against all the design principles for orientation, entrance design, building materials, accents, etc. In this case the project includes many of the features listed in the principles, but does not achieve the recommended 30 inches of relief due to the site constraints.

Building B is 107 feet in length along Hyland compared to 64 feet for Building A. Staff believes that the larger Building A should incorporate more design relief for conformance with Principle 7.b. Staff offered an alternative to increase the setback to 22 feet with adjustments to the rear parking area, which would allow for either greater amounts of front yard setback open area or for building modulation along the Hyland façade between 20 and 22 feet. The architect expressed that adding additional relief with insets across the façade would be complicated by the building design and interior floor plan considerations and were not feasible. Staff believes a two-foot offset near the mid-point of the building would better achieve the intent of the design principle for emphasizing relief than the current proposal.

- *The applicant requests that the Commission find the proposal consistent with the design principles for the primary entrance feature along Oakland with the 6-foot canopy (Principles 7.a and f.)* Design standards required an entrance per primary façade, which in this case is defined as Oakland. Hyland is a secondary façade because access is from Oakland. The project achieves the minimum design standards for entrances and sheltering features.

However, the Design Principles of 7.a. and f. look at design emphasis of the entrance features for identify and overall integration into the design.

a. Building orientation shall emphasize a front to a building, especially along Hyland Avenue, with an identifiable main building entrance.

f.” Alternatively, the Council may approve a contemporary building design accentuating modern building materials and emphasizing vertical elements of a building with massing, roof elements, and corner connections to a street.”

Staff believes that the contemporary design does incorporate some of the elements described in the principles to emphasize the entrance, primarily with the vertical brick accent with the Oakland entrance, but it has not fully addressed the intent of a presence along Hyland or to the corner. The proposed 6 x 4-foot canopy does scale to the doorway that leads to a stairwell, but it does not substantially emphasize an entrance that matches the scale of the building. Staff identified an option of extending the features of the entrance materials and canopy to the corner and wrapping the corner to have a presence on Hyland. The canopy design could

be modified to be more substantial in size or converted to a covered porch type element connecting extending more towards Hyland.

Landscaping is generally met. However, the applicant proposes an alternative landscape related to the surface parking area with no over-story trees by removing three required trees along the west parking area of the building and substituting the three trees for 27 Karl Foreseter Grasses along the property line. Additionally, the owner requests to substitute the requirement of three overstory trees for four understory trees (grows to less than 30 feet in height). The request is due to electrical power lines that run along the west property line and the requirement that the trees do not interfere with public utilities. The configuration of the site with tall buildings and the retaining wall also inhibit parking lot tree plantings. High Screening requirements are also needed to buffer the parking area from the residential uses to the west. A retaining wall will be installed with a fence that provides a minimum of a 6-foot screening element along the west property line.

ALTERNATIVES:

1. Recommend that the City Council approve the request for rezoning of both 259 and 263 Hyland Avenue from “RH” Residential High-Density Zone and “O-UIW” West University Impacted District to “RH” and “O-WUPED” West University Pedestrian Enhancement District with the proposed Major Site Development and the following conditions:
 - a. Provide an outdoor Lighting plan prior to issuance of a building permit.
 - b. Provide a roof plan with mechanical equipment screening prior to issuance of a building permit.
 - c. Provide material sample/references for clay brick specifications prior to issuance of a building permit.
2. Recommend approval of both 259 and 263 Hyland Avenue with the condition(s) above and that the applicant make modifications to the site design that include:
 - a. Increase front setback of Building A to the 20-feet to conform to the setback standards of RH for a building that does meet the Supplemental Standards of Table 29.1204(5) when the building does not have units with access at the ground level. *(This Alternative requires the applicant to obtain a variance for rear setback to shift the setback from 20 feet to 15 feet as a “practical difficulty variance” related to the topography of the site and phasing of the project to merge the sites for a reduced setback)*
3. Recommend approval of both 259 and 263 Hyland Avenue with the condition(s) that the applicant make modifications to the site design that include Alternative #2 and additional Design Principle changes:
 - a. Increase the front setback of Buildings B to 22 feet to allow for 24 inches of building modulation and façade relief between 20 and 22 feet to conform to the Design Principle 7.b related to building relief of at least 30 inches for buildings greater than three stories. *(This can be accomplished by changing the rear parking area dimensions and abutting planter by 2 feet as alternative design measures to allow for change to the building footprint.)*

- b. Require Building B modifications to the architectural elements of the primary front entrance at the corner to conform to Design Principle 7.a. and f. This would include more emphasis on the corner of the building and wrapping the corner to the Oakland entrance to make it a more significant element of the design. Alternatively, the canopy along Oakland could be extended in length to be more substantial in scale to the building and include tie back rods to the brick or for it to be expanded in size and area as a porch with columns to the ground instead of a cantilevered canopy.
4. Recommend that the City Council approve with conditions specified by the Commission for rezoning for either or both of 259 and 263 Hyland Avenue from “RH” Residential High-Density Zone and “O-UIW” West University Impacted District to “RH” and “O-WUPED” West University Pedestrian Enhancement District with a Major Site Development Plan.
5. Recommend that the City Council deny the rezoning for either or both 259 and 263 Hyland Avenue from “RH” Residential High-Density Zone and “O-UIW” West University Impacted District to “RH” and “O-WUPED” West University Pedestrian Enhancement District if it does not find the design is consistent with the purposes of the O-WUPED.
6. The Planning and Zoning Commission may defer action on this request and refer it back to City staff and/or the applicant for additional information.

RECOMMENDED ACTION:

The project is designed around contemporary building styles with flat roofs and parapets formatted over ground floor parking. The project is efficiently designed with smaller apartment units as intended with the Overlay District in support of the lower parking requirements. This approach limits building configuration options due to the parking dimensions at the ground level. The site is further complicated by the significant grade changes. O-WUPED seeks to limit the impact of parking design on the building design with its standards and guidelines. The development in general has accomplished this with no exposed parking areas along Hyland and the inclusion of two ground floor apartment units.

Because of these limitations, the applicant requests alternative design considerations.

Staff identified a primary concern of reducing setbacks to 15 feet for Building A with one unit facing the street and staff believes that the proposed design is not meant to benefit from that reduction option in the supplemental standards.

The Design Principles are to be thought of as combination of elements to guide overall building design to meet the design intent and purpose of the District to emphasize the ground level pedestrian environment. The applicant asks for approval of the buildings as incorporating many of the ideas within the principles. The primary issue for the Commission is to determine if for buildings of the height and size proposed if additional

design principles regarding building relief or front entrance emphasis is needed to support the rezoning.

Building B has the most opportunity for some additional changes. Staff believes the entrance emphasis and Hyland prominence could be enhanced for Building B Oakland entrance. Moving the building 2 feet back in the front yard to add relief is possible, but the architect and applicant express concerns about changes to the building structural design and additional costs as being undesirable if modulation or relief is required. They believe the design elements have created enough visual interest to meet the purpose of the zoning district.

The Department of Planning and Housing recommends that Alternative #2 be required to address the supplemental standards related to front setbacks for Building A.

If the Commission finds the Design Principles are not fully met, staff believes Alternative #3 a and/or #3 b. would address any outstanding concerns.

ADDENDUM

The project is a rezoning with a Major Site Development Plan to ensure consistency with the purpose of the requested O-WUPED. The rezoning request conformity to the Comprehensive Plan is guided by the Major Site Development Plan details.

To approve the rezoning, the application must be found to conform to:

Sec. 29.1115. "O-WUPED" West University Pedestrian Enhancement District

(1) Purpose. The intent of O-WUPED is to implement the Comprehensive Plan Residential Neighborhood 4 (RN-4) (Walkable Urban) Land Use Designation by encouraging new multi-family or mixed-use development with an enhanced relationship between buildings, the pedestrian environment, and the character of the area as a distinct place.

(2) Establishment. O-WUPED applies to all lands that have a base zoning district of Residential High Density (RH) and are zoned O-WUPED on the Zoning Map. O-WUPED replaces the O-UIW West University Impacted District upon approval. A Zoning Map Amendment may be approved provided the City Council makes the following findings:

- a. The designation is consistent with the Comprehensive Plan and has a future land use designation of RN-4 or, subject to review of commercial opportunities as mixed use, is within the Neighborhood Commercial Mixed Use sub-designation of RN-4.
- b. The property has a residential zoning of RH or is concurrently proposed to be changed to RH.
- c. The property is located along and/or between Sheldon Avenue or Hyland Avenues, north of Lincoln Way and south of Oakland.
- d. The proposed development is a new construction apartment dwelling or mixed-use development. O-WUPED shall not apply to development that involves conversions of or additions to existing structures or to single- and two-family dwellings.
- e. The existing and proposed infrastructure for the development is sufficient in design and capacity to support the project with water, sanitary sewer, storm drainage, streets and other transportation related facilities including pedestrian facilities.
- f. A Major Site Development Plan (MSDP), consistent with Sec. 29.1502, is submitted concurrently with the petition for rezoning. The MSDP must demonstrate consistency with all requirements and standards of the Overlay.

PROJECT DESCRIPTION:

The applicants request a rezoning of the property and approval of a Major Site Development Plan for 259 and 263 Hyland Avenue. The proposal is for two apartment buildings and a total of 32 units with 47 total bedrooms. The proposal will require approval of a Plat of Survey to alter the existing property lines and allow both properties to meet setback requirements.

SURROUNDING AREA:

Surround land to the north, south, and east is zoned RH. Property to the west is zoned RL.

The RL land immediately abutting the site is developed as single-family detached homes on standard lots. There are four homes that immediately abut the subject property.

Along Hyland and Sheldon Ave to the east, the properties are zoned RH and developed as higher density apartment buildings. Property located east of the Hyland, Oakland, and Sheldon intersection is zoned S-GA and used for the Iowa State University Campus.

Existing Zoning

The properties currently have a base zone of RH. This Zone is intended to accommodate high-density residential areas in the City, including areas on or adjacent to the Iowa State University campus and areas adjacent to existing commercial and employment centers. The properties are located west of ISU campus and contain existing multi-family development.

The property also contains the existing overlay of “O-UIW” (West University Impacted District). The O-UIW was established in 2006 with the purpose to include areas adjacent to the Iowa State University campus and affiliated facilities, in order to increase housing diversity opportunities and housing density, to the extent that base zoning would allow, while assuring adequate parking and architectural compatibility with the characteristics of existing structures, such as location, height, materials and the appearance of façades facing streets, by creating regulatory standards for commercial and high density residential uses, but not impacting single or two family uses.

AMES PLAN 2040:

Comprehensive Plan (Ames Plan 2040). The *Ames Plan 2040 Comprehensive Plan* designation of the subject area is Residential Neighborhood 4 (RN-4 Walkable Urban Neighborhood)(See attached excerpt). The proposed change of the overlay zone to O-WUPED is consistent with that designation. O-WUPED was recently established to better align the current goals of the Comprehensive Plan, which was not established in 2006 when O-UIW was created. The O-WUPED was also established to align with the RN-4 designations, which emphasizes walkability, pedestrian oriented design, higher density, and mixed-use development. See the RN-4 Excerpt for complete details.

The proposed rezoning consistent with the *Ames Plan 2040 Comprehensive Plan*. There are several goals in *Ames Plan 2040* that can support the proposed rezoning.

Goals:

- **G3.** Ames will take advantage of existing infill sites within the existing urbanized area to increase both the efficiency and quality of its urban environment. Infill development may change the types and intensities of land use and introduce new building forms. Larger areas planned for change are described as redirection or

redevelopment areas. As such, it requires an assessment of community needs and character of the surrounding area to guide planning and policy decisions on specific changes.

- **G3-2.** Coordinate infill development with the capacity of existing infrastructure.
- **G3-3.** Use prevailing density as the guide for redevelopment but allow for building variations to meet infill objectives. Make smooth transudations in scale and intensity of use from pre-existing context to higher intensity development. Support high-density redevelopment only in planned or targeted land use redirections areas.
- **G3-4.** Establish design standards and guidelines for individual infill sites that are compatible with the scale of surrounding neighborhoods or other urban design factors. In specific areas, planned increases in intensity of use will determine increased height and an urban form, but still include architectural design quality
- **G5-2.** Apply guidelines and processes in advance that increase the level of predictability to all parties in the development process.

GENERAL AND OTHER DEVELOPMENT STANDARDS

259 Hyland development is oriented toward Hyland Ave. A 20-foot driveway provides access to 13 internal ground floor parking spaces. The trash enclosure is incorporated into the building near the garage entrance and is not expected to have a negative impact on vehicle access or the appearance of the building.

263 Hyland development is oriented towards Oakland Street with an entry focal point located at the corner of Hyland and Oakland. A 24-foot driveway provides access to the site and both surface parking and garage parking for a total of 21 parking spaces. The building offers both surface parking and internal garage parking. The trash enclosure is located in the northwest corner of the parking lot outside of the front setback and is not expected to have a negative impact on traffic or aesthetics.

Landscaping

Residential development requires a diverse mix of shrubs, grasses and trees to be planted within the front yard and around the parking area. Each site meets the landscape requirements.

However, an overhead utility line exists along the west property line. Trees should not grow to a maturity that may interfere with utilities. In the event of utility interference zoning code states the following standard:

“If overhead utilities exist and are not planned to be placed underground, the Planning Director may approve overstory trees to be substituted with alternative locations for planting of trees or for the planting of smaller trees.”

The applicants proposes substituting the three required overstory trees located around the parking area of the north building for smaller tress that will not interfere with the overhead utility lines.

Signs and Lighting

No lighting plan has been submitted at this time. A lighting plan will need to be reviewed and approved by staff prior to issuance of a building permit.

Infrastructure

Water, storm sewer, sanitary sewer mains, and electric service are all located in close proximity to the site. Connections will primarily be from Hyland. A short closure of Hyland is expected to make connections.

Stormwater Management

The site is subject to conformance with Municipal Code Chapter 5a and 5b requirements for stormwater control and treatment. The Public Works Department has reviewed the submitted plans and has concluded that existing stormwater facilities can handle the increased runoff from the construction of the building.

Major Site Development Plan Criteria. The standards are found in Ames *Municipal Code* Section 29.1502(4)(d) and include the following requirements. *When acting upon an application for a Major Site Development Plan approval, the Planning and Zoning Commission and the City Council shall rely upon generally accepted site planning criteria and design standards. These criteria and standards are necessary to fulfill the intent of the Zoning Ordinance, the Land Use Policy Plan, and are the minimum necessary to safeguard the public health, safety, aesthetics, and general welfare.*

Public Notice. Notice was mailed to property owners within 400 feet of the subject site and a sign was posted on the subject property. As of this writing, no comments have been received.

Major Site Development Plan Criteria

1. ***The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.***

The site is less than 1-acre and exempt from mandatory Chapter 5b stormwater treatment measures. The project includes drainage design that direct water from the site to the existing storm sewer system. It does not detain water on site.

2. ***The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lines within the capacity limits of those utility lines.***

The existing utilities were reviewed and found adequate to support the anticipated load of the proposed development. There are no offsite upgrades needed to serve the site for any utility.

3. ***The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.***

The fire inspector has reviewed access and fire truck circulation and found that the needs of the Fire Department are met for access and circulation.

4. ***The design of the proposed development shall not increase the danger of erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.***

It is not anticipated that this proposed development will be a danger due to its location on the site, the flatness of the parcel, and the distance from a floodplain.

5. ***Natural topographic and landscape features of the site shall be incorporated into the development design.***

The applicant is working with the existing topography of the site. The disturbed areas of the site are required to come into compliance with current landscape requirements.

6. ***The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent hazards to adjacent streets or property.***

The proposed developments will provide for vehicular access off Hyland and Oakland. Each site will function independently, and shared access or cross access is not proposed. The sidewalks onsite will connect with the public sidewalks along Hyland Ave and Oakland Street.

- 7. The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.**

The parking area is screened to meet front yard landscaping requirements along Hyland Ave and Oakland Street. The trash enclosure for 259 Hyland will be incorporated in the building, use similar building materials for complete screening, and be further screened by landscaping. The trash enclosure for 263 Hyland will use similar building materials for complete screening and be further screened by landscaping. The enclosures meet the zoning requirements for solid waste collection areas.

- 8. The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.**

Access to the proposed developments will be from Hyland Avenue and Oakland Avenue in the general locations of the existing access points.

- 9. Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.**

All lighting will be required to comply with the City's Outdoor Lighting code. Lighting will be reviewed by staff prior to the issuance of a building permit.

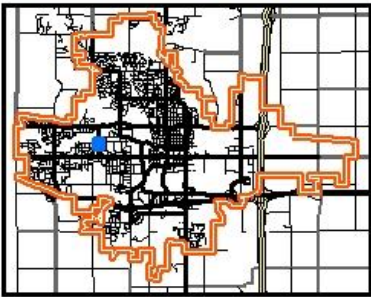
- 10. The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.**

The proposed development is not expected to generate any nuisances.

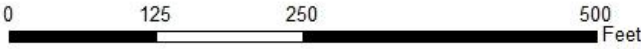
- 11. Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.**

Site coverage and building scale is generally consistent with the surrounding development. Please see the setback discussion in the report above.

Location Map



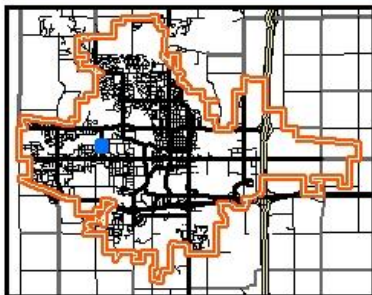
**Planning & Zoning Commission
Rezoning with Major Site Development Plan
259 & 263 Hyland Avenue
Ames, IA**



Legend

 Subject Area

Zoning Map



Planning & Zoning Commission
Rezoning with Major Site Development Plan
259 & 263 Hyland Avenue
Ames, IA



0 125 250 500 Feet

Legend

 Subject Area

LAND USE: CATEGORIES

Residential Neighborhood 4 (RN-4: Walkable Urban)

- » Based on master development plan or organic evolution of walkable mixed-use districts.
- » Strongly connected mixed uses as a "place" or district.
- » High level of street and path connectivity, highly walkable design where vehicles are secondary.
- » Individual development areas may have separate dominant uses but relate to each other.
- » Interior, street-oriented "village center."

- » Common open space and community streets as elements of urban structure.
- » Thematic street character, e.g., "main street" environments.

APPLICABLE EXISTING ZONING CATEGORIES

- » PRD Planned Residence District
- » F-VR Village Residential
- » RH Residential High-Density (existing development only)
- » PUD Planned Unit Development Overlay District

GOALS

- » Village master planning and development in key opportunity sites within growth areas.
- » Extension of positive "village" development principles into more conventional development options that achieve walkable and identifiable centers to neighborhoods.



DEVELOPMENT GUIDELINES

- » Emphasis on mixed uses in the neighborhood overall with walkability, functional public space, appropriate street design, and green infrastructure; provide flexibility in how these goals are accomplished.
- » Similar design approach to a PUD to ensure details for mixed-use and design are successful, allowing for greater density and more commercial uses than conventional options.
- » Overall minimum gross density > 6 du/A; Village Centers may have much higher density.
- » Avoid dictating specific architectural style, while recognizing that some styles are more consistent with intended character than others, however, elements supportive of street level design details are required. This includes features such as porches, large amounts of fenestration for commercial uses, reduced setbacks, durable and interesting building materials, identifiable entrances, and minimized dead space of walls and garage doors.

PUBLIC ACTIONS

- » Improve streetscape and district identification to focus attention and encourage reinvestment in existing areas, such as in the West Street "village" west of the ISU campus and similar small-scale mixed-use districts. In these areas, encourage upgrades and improved relationships among existing multi-family buildings. May require a special development area plan.
- » Review and modify zoning and subdivision regulations to address the intended range of uses and design standards.
- » Review parking requirements to ensure there is not excess required parking that impacts financial feasibility of reinvestment and design that detracts from character.

HUNZIKER DEVELOPMENT

SITE PLANS FOR

259/263 HYLAND AVE

AUGUST, 2026

GOVERNING SPECIFICATIONS

THE 2025 EDITION OF THE "IOWA STATEWIDE URBAN SPECIFICATIONS FOR PUBLIC IMPROVEMENTS" AND THE CURRENT CITY OF AMES SUPPLEMENTAL SPECIFICATIONS.

MUTCDCD 2023 AS ADOPTED BY IOWA DEPARTMENT OF TRANSPORTATION.

ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE COMPLIED WITHIN THE CONSTRUCTION OF THIS PROJECT.

20% ALTERNATIVE DESIGN ADJUSTMENT REQUESTS

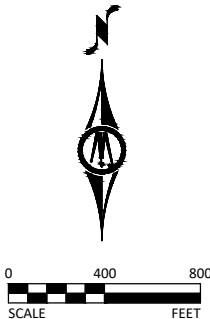
- BUILDING A (SOUTH)**
- REAR YARD SETBACK ADJUSTMENT FROM 25' TO 20.53' (18%)
 - FRONT ENTRANCE SIDEWALK WIDTH FROM 5' TO 4' (20%)

- BUILDING B (NORTH)**
- REAR YARD SETBACK ADJUSTMENT FROM 25' TO 20.53' (18%)
 - MAXIMUM FRONT YARD SETBACK ON OAKLAND ADJUSTMENT FROM 25' TO 26.03' (4%)
 - FRONT YARD SETBACK ON HYLAND ADJUSTMENT FROM 25' TO 20' (20%)

STAGING

- CONTRACTOR SHALL PROVIDE THE FOLLOWING TRAFFIC CONTROL WHILE WORKING IN THE PUBLIC R.O.W.:
- WORK ON HYLAND AVE UTILITIES - TC228

PROJECT LOCATION



MAP OF STORY COUNTY



SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
G1.01	TITLE SHEET
G1.02	LEGEND
G2.01	GENERAL NOTES
G2.02	DETAILS
C1.01 - C1.02	EXISTING CONDITIONS & REMOVALS
C2.01	SITE GEOMETRICS
C3.01	EROSION CONTROL PLAN
C4.01 - C4.02	GRADING PLAN
C5.01 - C5.02	UTILITY PLAN
C6.01 - C6.02	SIDEWALK ADA
C7.01 - C7.02	LANDSCAPING PLAN & DETAILS
C8.01	PHASING PLAN
C9.01	TRAFFIC CONTROL PLAN

THIS PLAN SET HAS 18 SHEETS

ZONING
RESIDENTIAL - RH & O-WUPED

OWNER
HUNZIKER DEVELOPMENT
105. S 16TH ST.
AMES, IA 50010

PREPARED BY
BOLTON & MENK
1519 BALTIMORE DRIVE
AMES, IA 50010



NOTE: EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY IOWA ONE CALL 1-800-292-8989 OR 811

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D UNLESS OTHERWISE NOTED. THIS UTILITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

PLAN REVISIONS		
REV	ISSUED FOR	DATE

LICENSED PROFESSIONAL ENGINEER

IOWA

Gregory A. Broussard,

21974

22974

DATE

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PROFESSIONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

Gregory A. Broussard, P.E.

LIC NO. 22974

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025

THIS SET OF SHEETS COVERS THE FOLLOWING PROJECT:

ALL SHEETS

PRELIMINARY

NOT FOR CONSTRUCTION, RECORDING PURPOSES, OR IMPLEMENTATION.

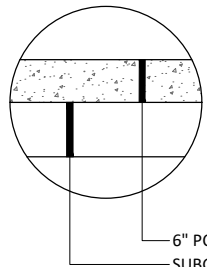
1519 BALTIMORE DRIVE
AMES, IA 50010
Phone: (515) 233-6100
Email: Ames@bolton-menk.com
www.bolton-menk.com

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CLIENT PROJ. NO.			
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HUNZIKER DEVELOPMENT
259/263 HYLAND
TITLE SHEET

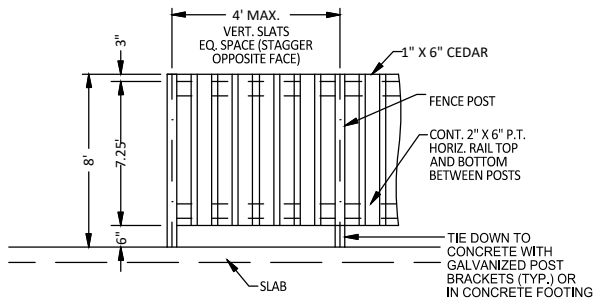
SHEET
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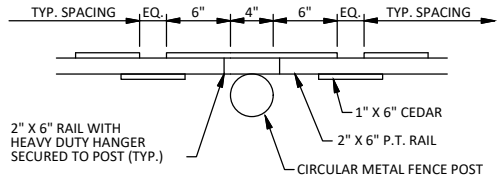


6" PCC
SUBGRADE PREPARATION (2112) (INCIDENTAL)

A CONCRETE PAVEMENT
NOT TO SCALE

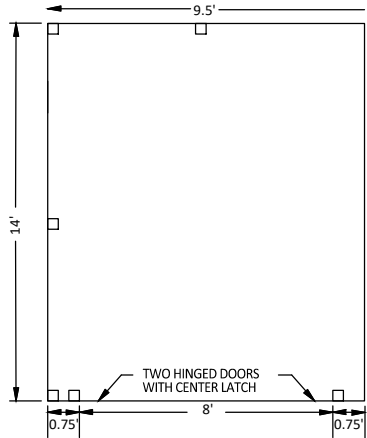


TRASH ENCLOSURE ELEVATION
(NOT TO SCALE)

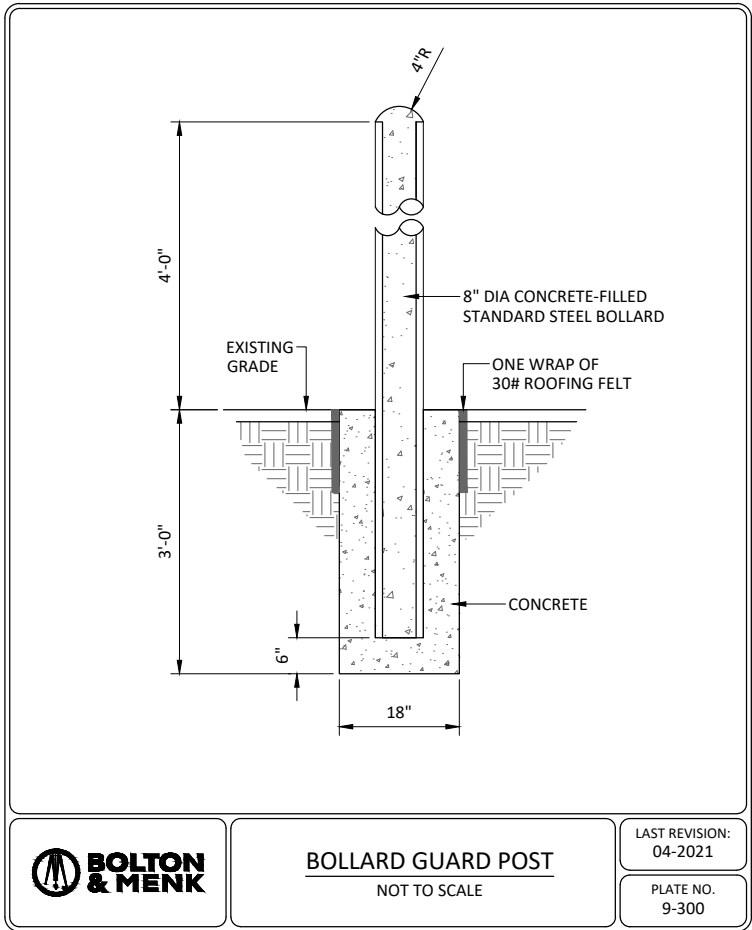


NOTE: OTHER ENCLOSURES MAY BE APPROVED BY OWNER.

B TRASH ENCLOSURE
NOT TO SCALE



TRASH ENCLOSURE TOP VIEW
(NOT TO SCALE)



BOLLARD GUARD POST
NOT TO SCALE

LAST REVISION:
04-2021

PLATE NO.
9-300

SITE DATA		
BUILDING A (SOUTH LOT)		
TOTAL LOT AREA	11,798 SF	0.27 ACRES
DISTURBED AREA	11,798 SF	0.27 ACRES
PERVIOUS AREA	4,056 SF	0.09 ACRES
IMPERVIOUS DATA		
BUILDING(S) SIZE	6,475 SF	0.15 ACRES
PAVEMENT AREA	1,267 SF	0.03 ACRES
TOTAL IMPERVIOUS AREA	7,742 SF	0.18 ACRES
PERCENTAGES		
IMPERVIOUS	66%	
PERVIOUS	34%	
TOTAL	100%	
BUILDING B (NORTH LOT)		
TOTAL LOT AREA	20,292 SF	0.47 ACRES
DISTURBED AREA	20,292 SF	0.47 ACRES
PERVIOUS AREA	7,426 SF	0.17 ACRES
IMPERVIOUS DATA		
BUILDING(S) SIZE	6,955 SF	0.16 ACRES
PAVEMENT AREA	5,911 SF	0.14 ACRES
TOTAL IMPERVIOUS AREA	12,866 SF	0.30 ACRES
PERCENTAGES		
IMPERVIOUS	63%	
PERVIOUS	37%	
TOTAL	100%	
PARKING (PER BUILDING)		
BUILDING A (SOUTH)		
BUILDING SIZE	6475 SF	
STUDIO UNIT	3 UNITS	
	1 STALLS/UNIT	
	3 REQUIRED STALLS	
1 BEDROOM UNIT	4 UNITS	
	1 STALLS/UNIT	
	4 REQUIRED STALLS	
2 BEDROOM UNIT	6 UNITS	
	1 STALLS/UNIT	
	6 REQUIRED STALLS	
TOTAL REQUIRED STALLS PER BUILDING A	13 STALLS	
TOTAL PROVIDED STALLS IN BUILDING A	13 STALLS	
REQUIRED ADA STALLS	1 STALL	
PROVIDED ADA STALLS	1 STALL	
BUILDING B (NORTH)		
BUILDING SIZE	6955 SF	
1 BEDROOM UNIT	10 UNITS	
	1 STALLS/UNIT	
	10 REQUIRED STALLS	
2 BEDROOM UNIT	9 UNITS	
	1 STALLS/UNIT	
	9 REQUIRED STALLS	
TOTAL REQUIRED STALLS PER BUILDING A	19 STALLS	
TOTAL PROVIDED STALLS IN BUILDING A	21 STALLS	
REQUIRED ADA STALLS	1 STALL	
PROVIDED ADA STALLS	1 STALL	



**BOLTON
& MENK**

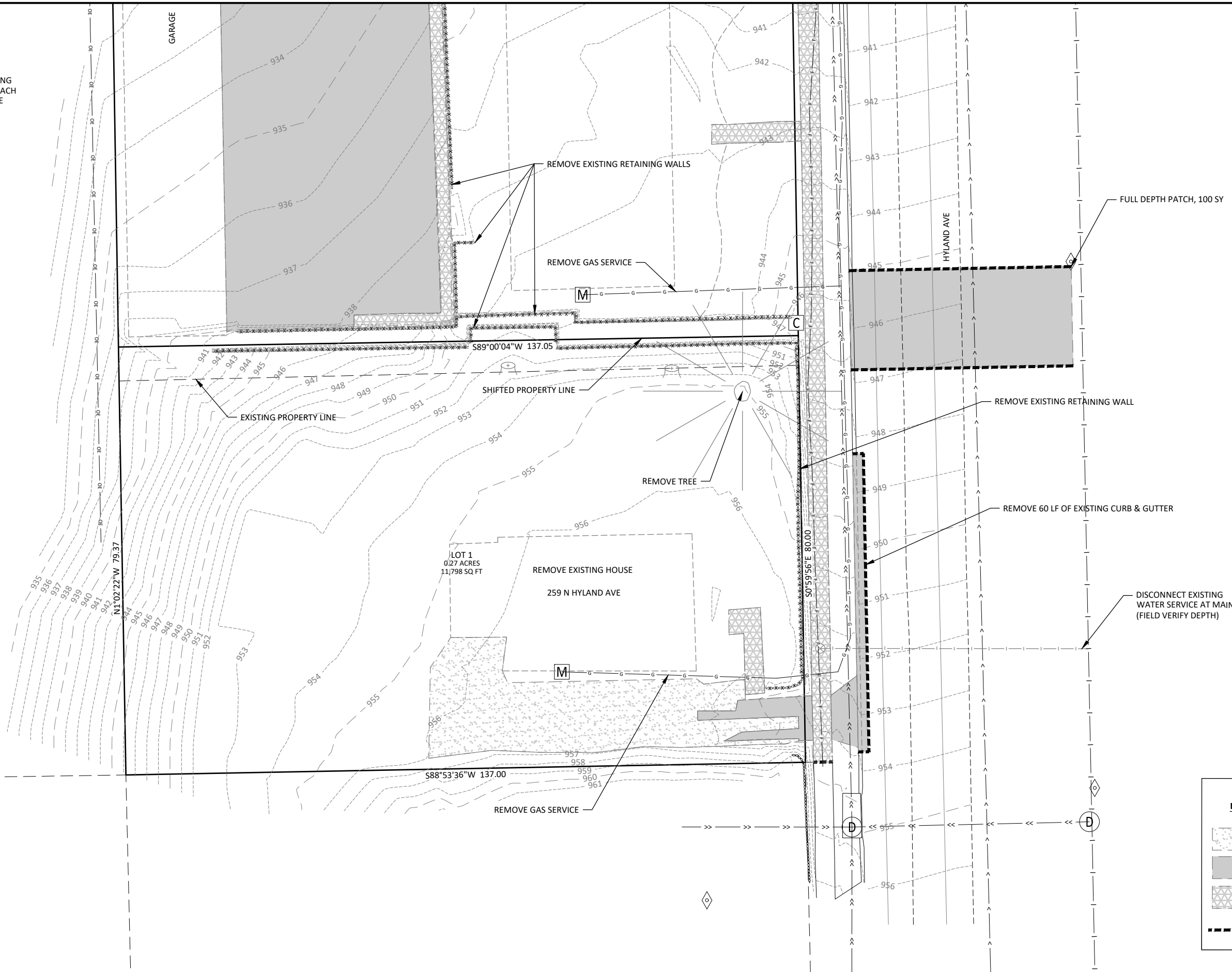
1519 BALTIMORE DRIVE
AMES, IA 50010
Phone: (515) 233-6100
Email: Ames@bolton-menk.com
www.bolton-menk.com

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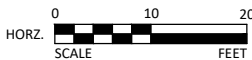
HUNZIKER DEVELOPMENT
259/263 HYLAND

DETAILS

NOTE:
CONTRACTOR SHALL FIND EXISTING
SANITARY SEWER SERVICE FOR EACH
BUILDING AND ABANDON AT THE
BACK OF CURB.



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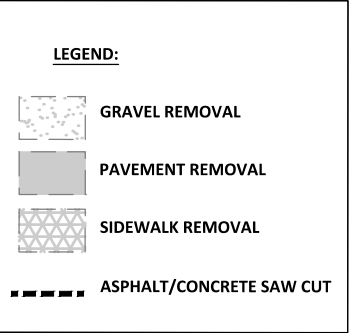


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HUNZIKER DEVELOPMENT
259/263 HYLAND
EXISTING CONDITIONS & REMOVALS

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FIRE DEPARTMENT
CONNECTION

PEDESTRIAN ACCESS
PAVEMENT
MARKINGS

PROPOSED RETAINING WALL

HYLAND AVE

PROPOSED RETAINING WALL

HYLAND AVE

OAKLAND ST

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

PROPOSED RETAINING WALL

PROPOSED RETAINING WALL

ELECTRICAL METERS

SETBACK LINE

ELECTRICAL TRANSFORMER

DUMPSTER ENCLOSURE
14' X 9.5'
SEE DETAIL

ELECTRICAL METERS

SETBACK LINE

FIRE DEPARTMENT
CONNECTION

SIDEWALK
EASEMENT

LOT 1
0.27 ACRES
11,798 SQ. FT.
BUILDING A
FFE: 950.20
6,475 SF

LOT 2
0.47 ACRES
20,292 SQ. FT.
BUILDING B
FFE: 932.50
6,955 SF

PROPOSED
BOLLARD
(TYP.)

DUMPSTER ENCLOSURE

T

C

D

H

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S

SHEET

C2.01

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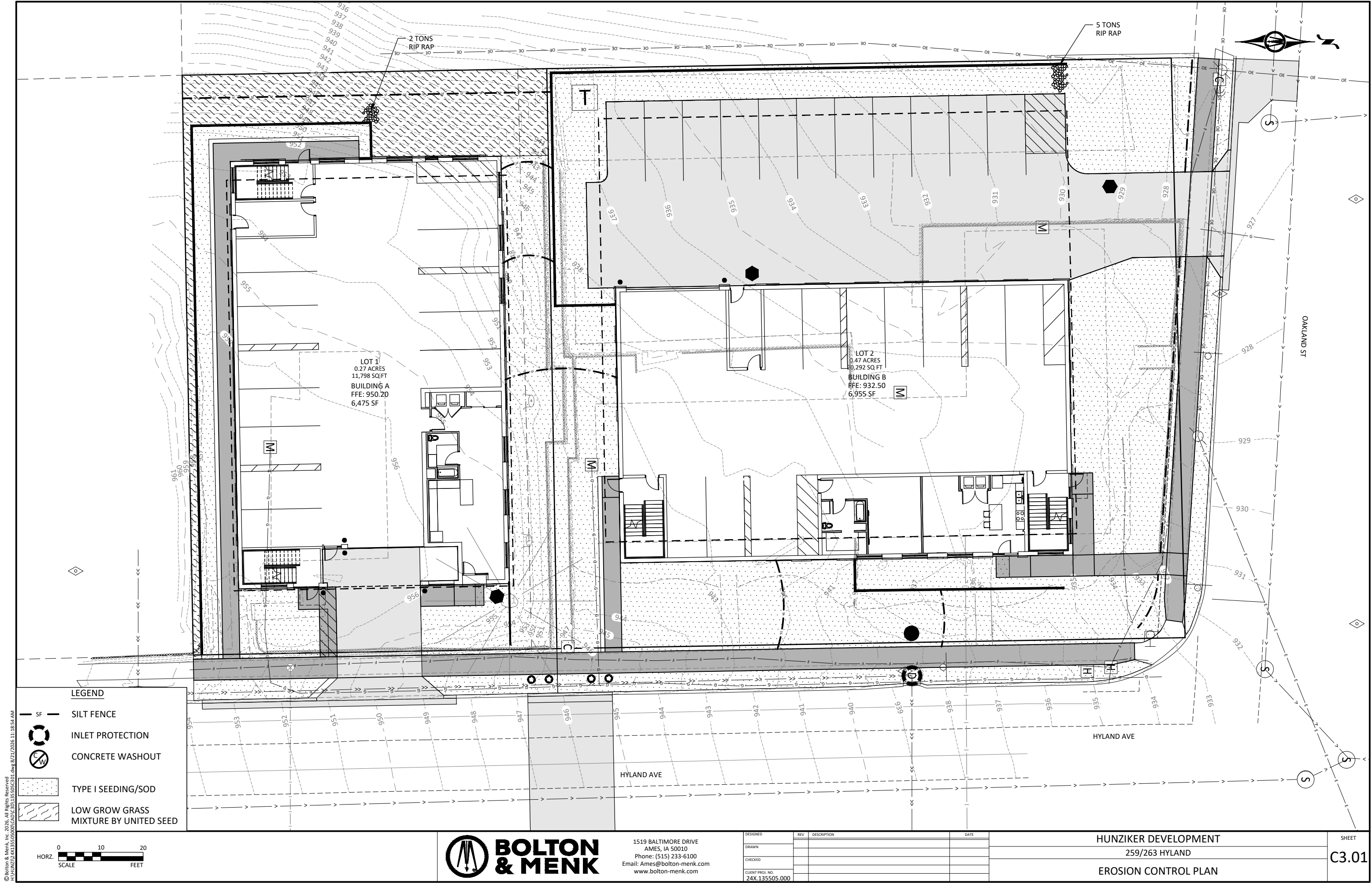
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HORIZ. SCALE FEET



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HUNZIKER DEVELOPMENT
259/263 HYLAND
SITE GEOMETRICS



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LEGEND

SF

SILT FENCE

INLET PROTECTION

CONCRETE WASHOUT

TYPE I SEEDING/SOD

LOW GROW GRASS MIXTURE BY UNITED SEED



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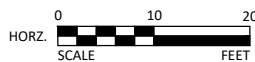
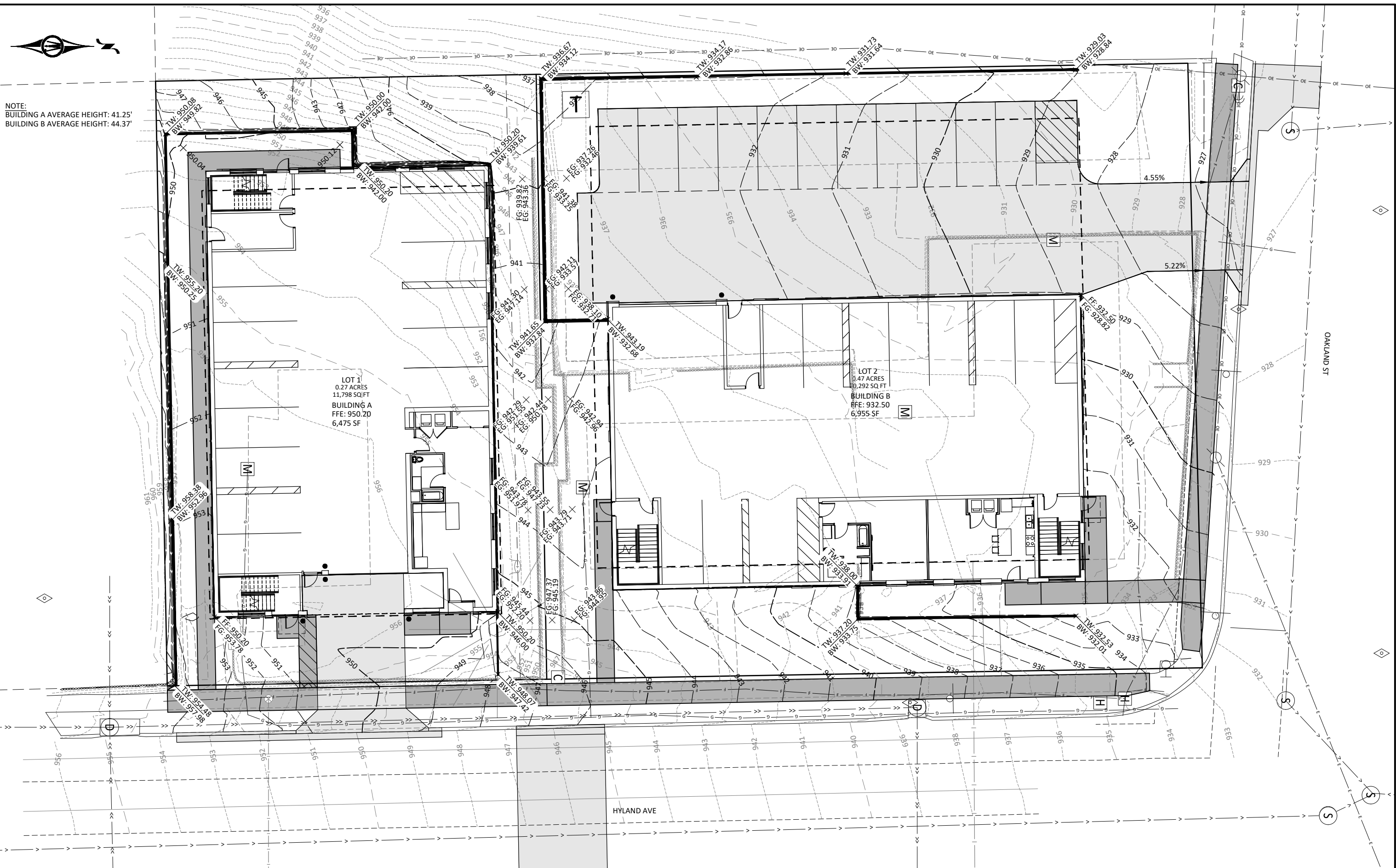
EROSION CONTROL PLAN

SHEET

C3.01



NOTE:
BUILDING A AVERAGE HEIGHT: 41.25'
BUILDING B AVERAGE HEIGHT: 44.37'

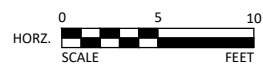
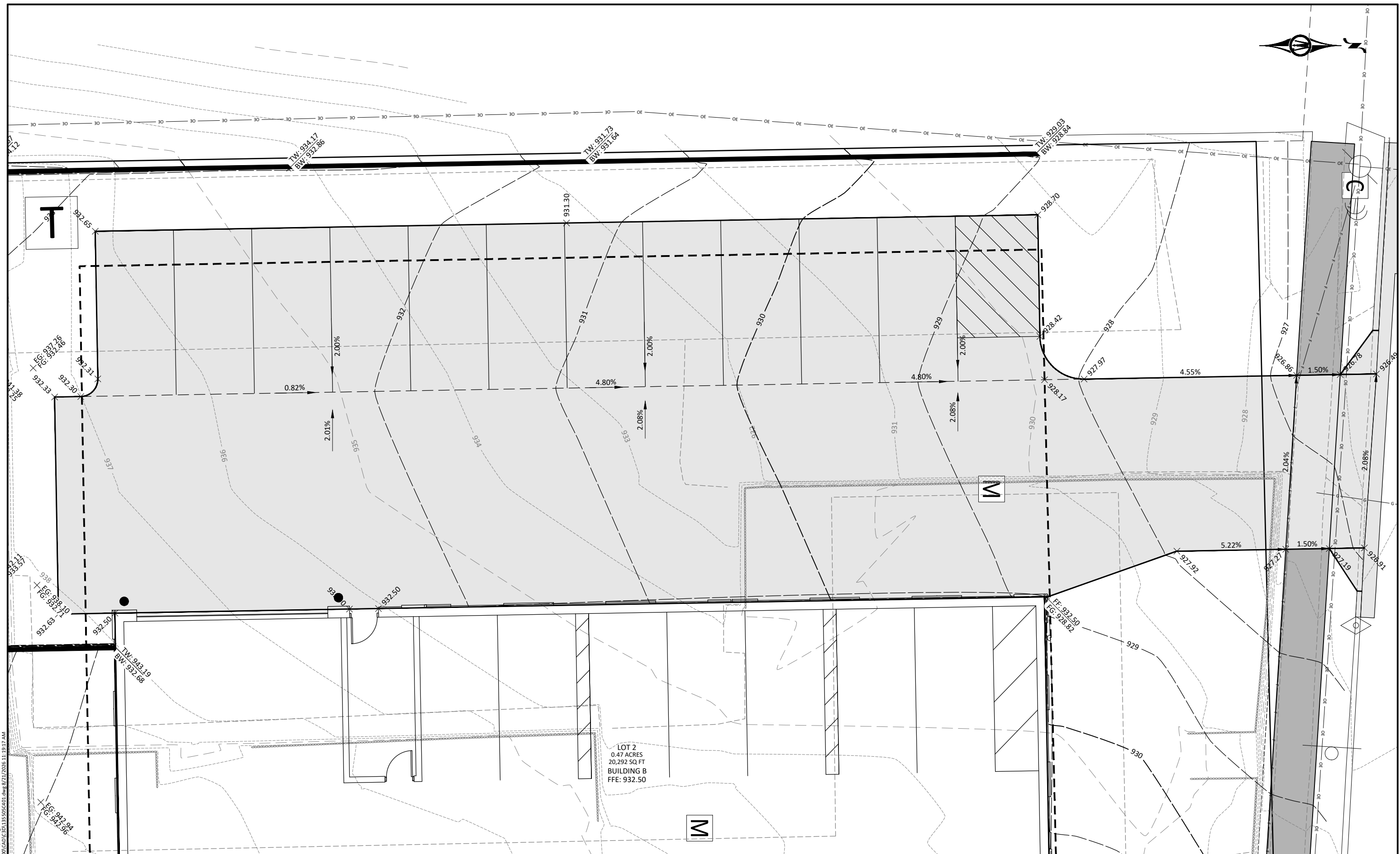


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HUNZIKER DEVELOPMENT
259/263 HYLAND
GRADING PLAN

SHEET
C4.01



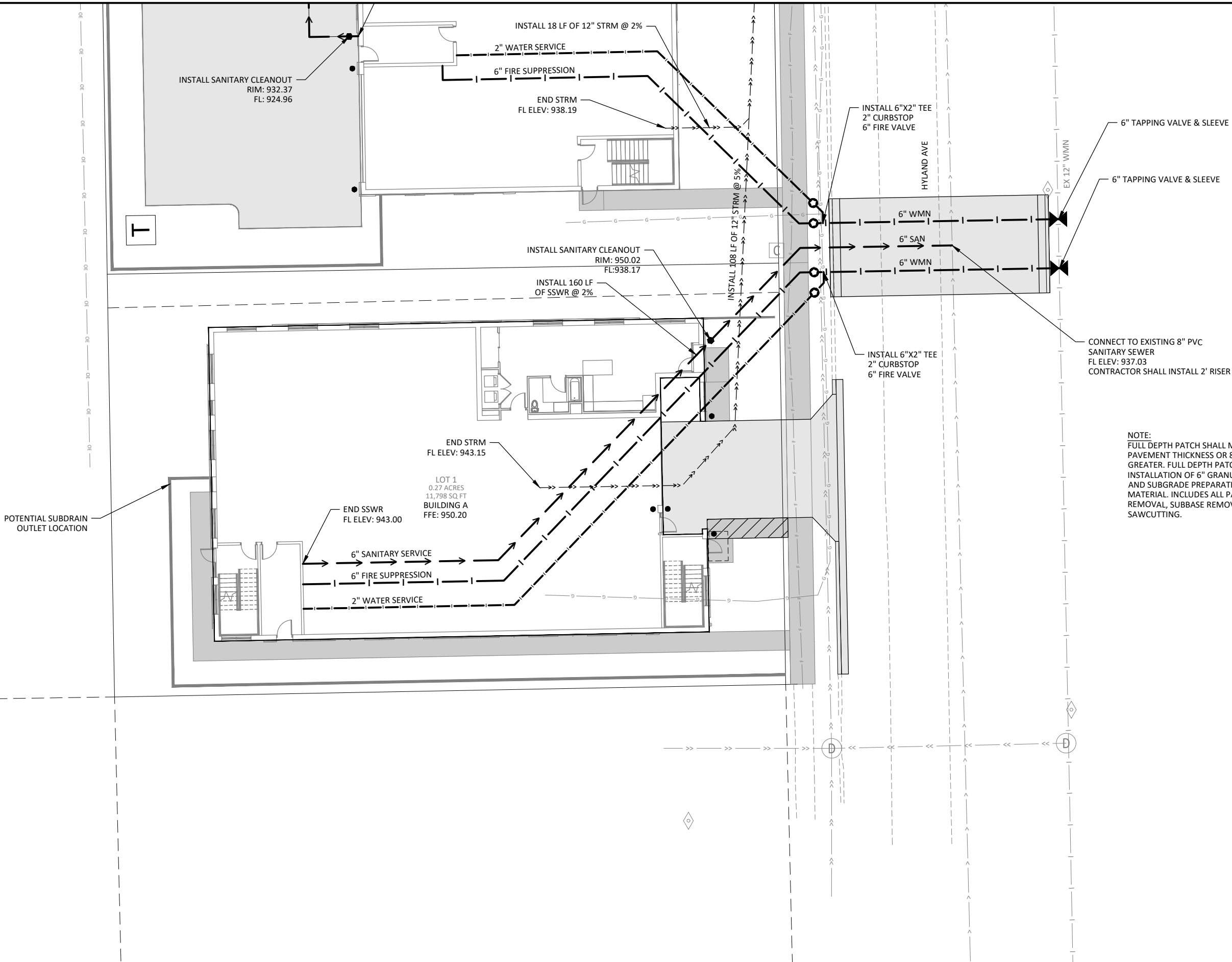
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HUNZIKER DEVELOPMENT
259/263 HYLAND
GRADING PLAN

SHEET

4.02



NOTE:
FULL DEPTH PATCH SHALL MATCH EXISTING
PAVEMENT THICKNESS OR 8", WHICHEVER IS
GREATER. FULL DEPTH PATCH SHALL INCLUDE
INSTALLATION OF 6" GRANULAR SUBBASE
AND SUBGRADE PREPARATION ON EXISTING
MATERIAL. INCLUDES ALL PAVEMENT
REMOVAL, SUBBASE REMOVAL, AND
SAWCUTTING.

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HORIZ. SCALE FEET



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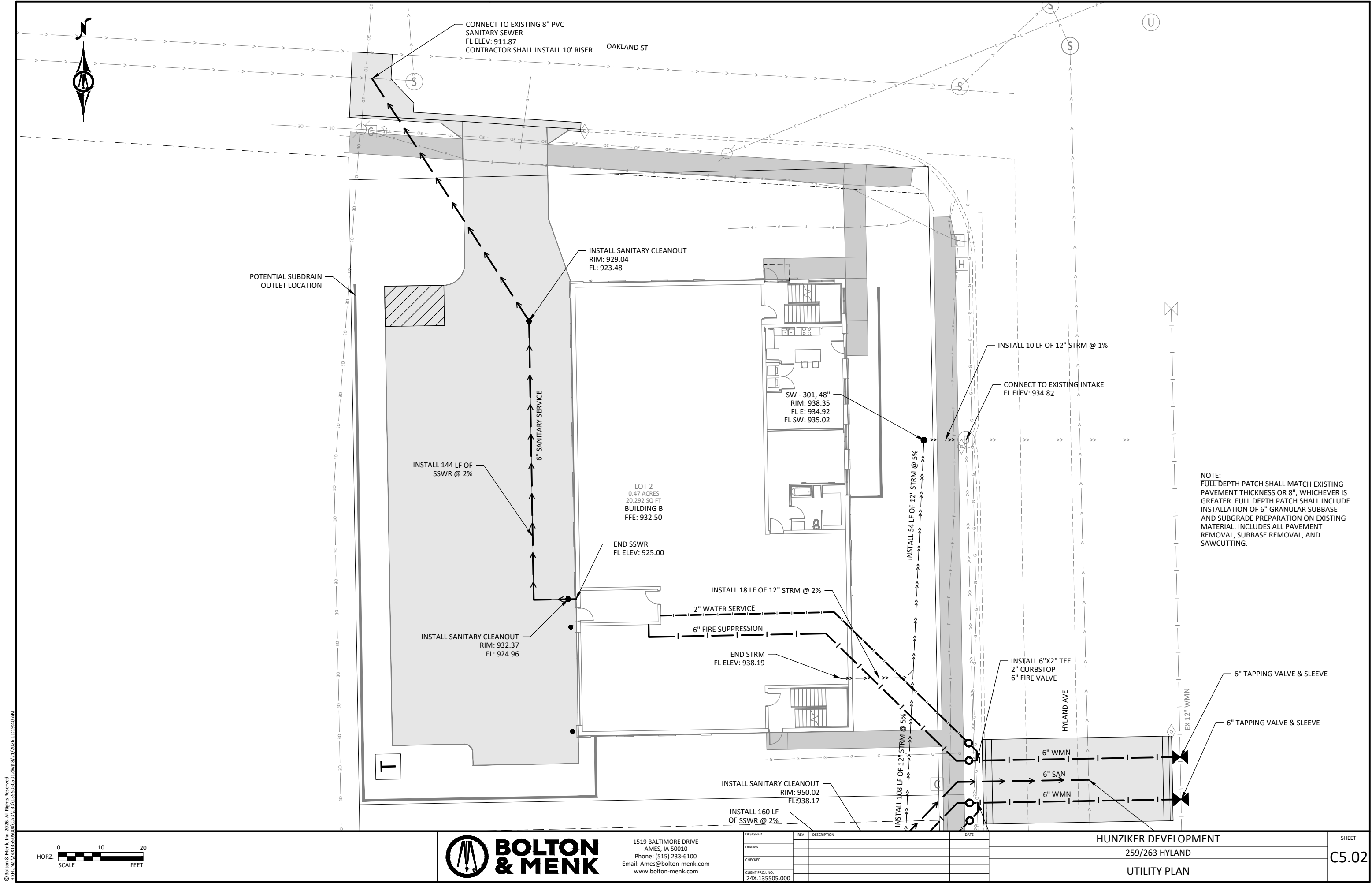
HUNZIKER DEVELOPMENT

259/263 HYLAND

UTILITY PLAN

SHEET

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HUNZIKER DEVELOPMENT
259/263 HYLAND
SIDEWALK ADA

SHEET

C6.01

1. MASTER PLANT SCHEDULE: ALL TREES, SHRUBS, AND ORNAMENTAL GRASSES ARE LISTED IN THE MASTER PLANT SCHEDULE. IF THERE IS A CONFLICT BETWEEN THE QUANTITIES SHOWN ON THE DRAWINGS AND THE QUANTITIES SHOWN IN THE PLANT SCHEDULE, THE PLAN QUANTITIES SHALL PREVAIL.
2. PLANTING LAYOUT: STAKE ALL TREE LOCATIONS AND A TYPICAL SHRUB/ORNAMENTAL GRASS BED LAYOUT AND OBTAIN APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
3. SHRUB/ORNAMENTAL GRASS GROUPINGS SHALL BE PLANTED AND MULCHED IN ONE CONTINUOUSLY MULCHED BED. ALL OVERSTORY TREES SHALL BE MULCHED TO 18 INCHES FROM TRUNK (3' DIA. RING) IN ALL DIRECTIONS AND TO A DEPTH OF 3" UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO PROVIDE AMENDED SOIL MIX FOR INCORPORATION INTO BACKFILL OF ALL ORNAMENTAL GRASS, SHRUB AND TREE AREAS, AND ALL AREAS LABELED "LANDSCAPE AREA". THIS AMENDED SOIL MIX SHALL CONSIST OF 5% ORGANIC MATTER INCORPORATED INTO THE TOP 8 INCHES OF PLANTING AREAS AROUND ALL ORNAMENTAL GRASSES, SHRUBS AND TREES. AMENDED SOIL MIX SHOULD INCORPORATE SOIL FROM THE SITE AS WELL AS AN ORGANIC COMPOST, BUT MAY ALSO USE EXISTING SOIL IF ORGANIC CONTENT MEETS THE 5% MINIMUM REQUIREMENT. CONTRACTOR TO PROVIDE CERTIFICATION OF ORGANIC MATTER CONTENT OF EXISTING SOIL AND/OR COMPOST AND EXISTING SOIL BLEND PRIOR TO INCORPORATING MATERIAL AROUND ORNAMENTAL GRASSES, SHRUBS AND TREES.
5. PREPARING SPADE-CUT EDGE AND PLACING AMENDED SOIL AND SHREDDED HARDWOOD MULCH SHALL BE INCIDENTAL TO THE PLANTING BID ITEMS AND SHALL BE INSTALLED AS PER SPECIFICATIONS. ALL MULCH SHALL BE SHREDDED HARDWOOD MULCH.
6. ALL AREAS NOT CALLED OUT AS PLANTING BEDS TO RECEIVE SUDAS TYPE 1 PERMANENT LAWN SEEDING WITH HYDROMULCH COVER, UNLESS OTHERWISE SPECIFIED ON EROSION CONTROL PLAN. SEEDING, FERTILIZING AND STABILIZATION TO BE PERFORMED PER SUDAS SPECIFICATIONS.

FRONT YARD LANDSCAPE (372 LF):
1 / 50 LF FOR OVERSTORY TREES, 12 / 50 LF FOR SHRUBS
(3:1 ORNAMENTAL GRASS REPLACEMENT RATIO)

REQUIRED TREES: (372 LF/50) = 8
PROVIDED: 8 OVERSTORY TREES

REQUIRED SHRUBS & GRASSES:
REQUIRED SHRUBS BTWN STREET AND PARKING LOT: $27 / 50 = 1 * 12 = 12$
PROVIDED: 12 SHRUBS
REQUIRED SHRUBS IN OTHER FRONT YARD AREAS: $345 / 50 = 6.9 * 9 = 63$
PROVIDED: 38 SHRUBS (25 SHRUBS ACCOUNTED FOR BY 75 GRASSES AT 3:1 RATIO)

LANDSCAPE AREA AT PARKING (4,900 SF):
REQUIRED: $(4,900 \text{ SF} * 0.1) = 490 \text{ SF}$
PROVIDED: 546 SF

PARKING OVERSTORY TREES:
REQUIRED TREES: $(546 \text{ SF} / 200) = 2.73$, RND TO (3)
PROVIDED: 3 UNDERSTORY TREES PER CITY COMMENT

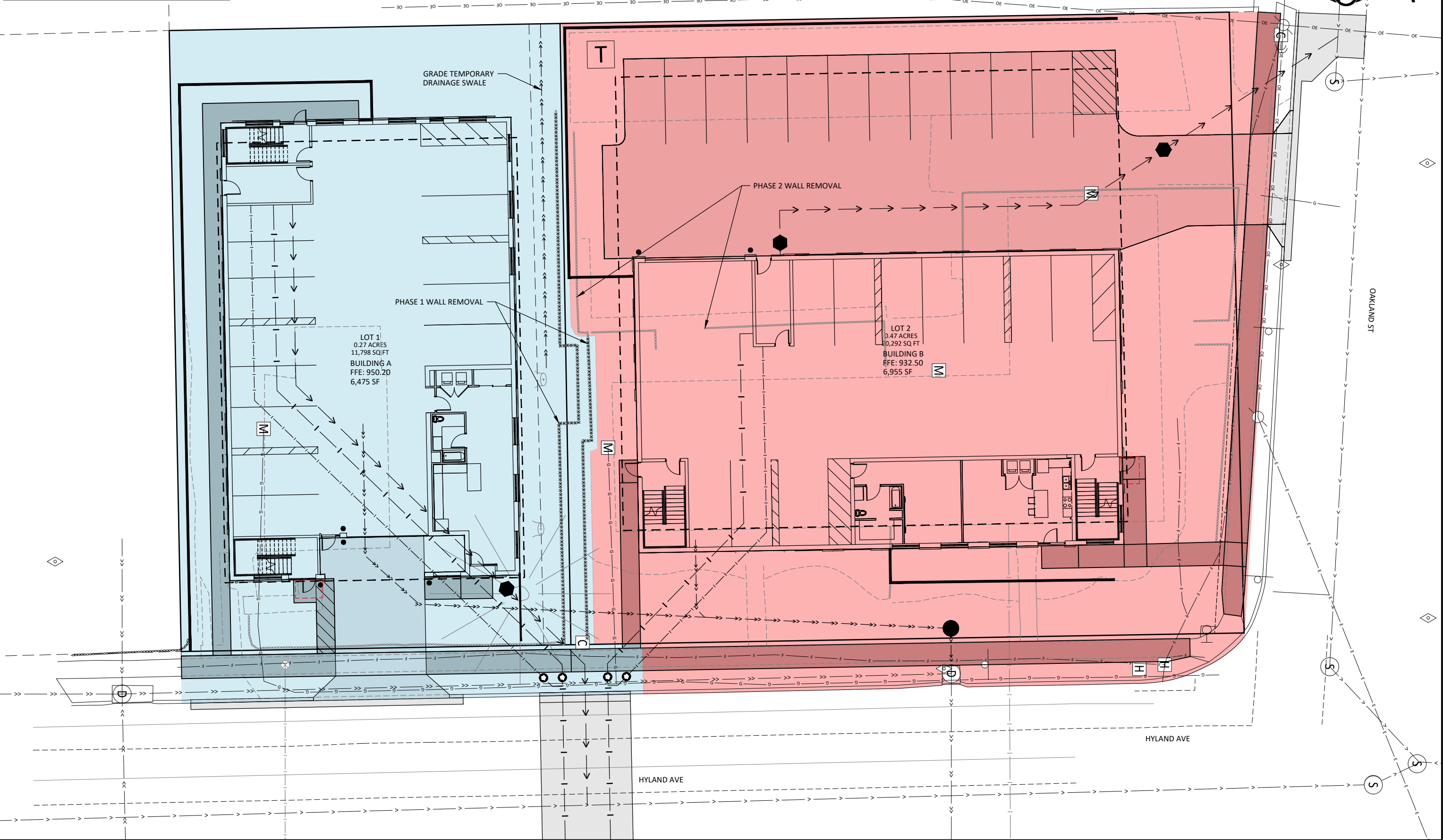
PARKING SCREEN (122 LF):
NORTH PARKING LOT IS SCREENED BY 6' HEIGHT RETAINING WALL
REQUIRED PER CITY COMMENT: 3 GRASSES PER 20 LF = $122 / 20 = 6.1 * 3 = \text{RND TO (3)}$
PROVIDED: 27 ORNAMENTAL GRASSES

HIGH SCREEN DISSIMILAR USE (117 LF):
TWO UNDERSTORY TREES ALONG SOUTH AND 1 UNDERSTORY TREE ALONG NORTH
HIGH SCREEN DISSIMILAR USE NOT REQUIRED PER CITY COMMENT.
REQUIRED TREES: $(117 \text{ LF} / 50) = 2.34$, RND TO (3)
PROVIDED: 3 UNDERSTORY TREES (DUE TO O.H. ELECTRICAL LINES)

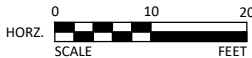
CODE	QTY	DETAIL	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	CONTAINER
CANOPY TREES							
GT	4		GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE® HONEY LOCUST	2" CAL.	40-65' MAT. HT.	B&B
QB	1		QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL.	55-65' MAT.HT.	B&B
UJ	3		ULMUS AMERICANA 'JEFFERSON'	JEFFERSON AMERICAN ELM	2" CAL.	40-65' MAT. HT.	B&B
ORNAMENTAL TREES							
AP	2		ACER PLATANOIDES X TRUNCATUM 'PACIFIC SUNSET'	PACIFIC SUNSET MAPLE	1.5" CAL.	35' MAT.HT.	B&B
AG	1		AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	1.5" CAL.	20' MAT.HT.	B&B
MP	3		MALUS X 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	1.5" CAL.	20' MAT.HT.	B&B

[illegible]

LEGEND	
PHASE 1	
PHASE 2	



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1519 BALTIMORE DRIVE
AMES, IA 50010
Phone: (515) 233-6100
Email: Ames@bolton-menk.com
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HUNZIKER DEVELOPMENT
259/263 HYLAND
PHASING PLAN

SHEET
C8.01



Real People. Real Solutions.

Rezoning Narrative

Date: August 4, 2026
To: City of Ames
From: Greg Broussard, PE
Subject: Hyland Apartments
259 & 263 Hyland, Ames, IA 50010
Hunziker Development

1. Reasons for Requesting Rezoning

- a. Rezoning is requested to change from Residential High Density (RH) with an overlay of West University Impacted District (O-UIW) to Residential High Density (RH) with an overlay of West University Pedestrian Enhancement District (O-WUPED) for construction of apartments located at the SW corner of Hyland and Oakland in Ames*

2. Consistency with Ames Plan 2040, the City of Ames Comprehensive Plan

- a. Ames Plan 2040 designates the Hunziker properties at the corner of Oakland and Hyland, along with the surrounding area, as RN-4 "Walkable Urban Neighborhood." The purpose of the Designation is to encourage higher density housing, mixed uses, walkability, and redevelopment that creates a high-quality built environment and sense of place. Addition of the O-WUPED overlay will help meet the goals of the RN-4 zone by reducing parking, adjusting setbacks and increasing density allowances. The O-WUPED zone was create to help projects like the proposed development be approved and to help meet the goals of Ames Plan 2040*

3. Proposed Use

- a. The proposed use will be to create two new apartment buildings on the site.*

4. Masterplan

- a. No required since there is a major site development plan*

5. Rezoning Map

- a. Rezoning map has been submitted for the parcel*

Dayton Park LLC.

Hyland Avenue Development - Project Narrative

Introduction

This project proposes the redevelopment of two sites located at the southwest corner of the Hyland Avenue and Oakland Street intersection with two new high-density apartment buildings. The project replaces an existing single-family residence and an aging apartment building with an attached carport, transforming an underutilized property into a contemporary residential development that aligns with the goals and vision of the overlay district and the goals of the Ames City Council for this part of town.

Both proposed buildings are designed as multifamily residential structures with integrated first-floor parking garages. Each building includes a ground-floor Type A accessible apartment located adjacent to the garage, providing direct access to accessible parking. The south building consists of two residential stories above the garage, with six apartments per floor and one parking stall provided for each unit. The north building consists of three residential stories above the garage, with seven apartments per floor and one parking stall per unit, along with several additional parking stalls.

By replacing two outdated, low-density residential buildings with this new multifamily development, the project directly supports the overlay district's objective of encouraging higher-density housing while offering modern housing options tailored to the area's primary demographic, university students. In addition to expanding housing opportunities, the proposed buildings introduce a fresh architectural character that contributes positively to the neighborhood's evolving identity.

Compliance with Design Standards

The proposed development has been carefully designed to meet the overlay district's design standards. Both buildings remain below the maximum permitted height of 45 feet, measured using the average grade at each building's four corners.

The street-facing facades satisfy the overlay's material requirements by incorporating more than 60 percent clay brick. The selected brick, Ebonite brick veneer, features a dark gray color with a subtle metallic blue tint that creates a contemporary appearance while providing a durable, high-quality exterior finish.

Architectural detailing has been incorporated throughout the project to create visual interest and avoid flat, monotonous facades. These elements include brick soldier courses above and below window openings, soldier courses at parapet transitions, projecting window bays, two-tiered overhangs, intentionally placed reveals, and parapets that create a varied roofline. Street-facing

elevations are further activated through substantial transparency, with windows and doors comprising more than 40 percent of the facade length.

Primary entrances are clearly defined and protected by 4-foot by 6-foot entrance canopies. Additional pedestrian entrances on the south building are recessed into the facade, providing both shelter and visual emphasis. Building orientation also reinforces the pedestrian character of the development, with the south building facing Hyland Avenue and the north building facing Oakland Street.

The project's setbacks are consistent with the overlay requirements and applicable exceptions. The south building utilizes the provision allowing a 15-foot setback when residential uses occupy the ground floor. The north building is proposed at a 20-foot setback, which falls within the allowable 20% adjustment range. This modest decrease in the setback is necessary to accommodate the landscaping and green space requirements at the western portion of the site.

Compliance with Design Principles

The design of both buildings advances the broader design principles established by the overlay district. The south building establishes a strong street presence along Hyland Avenue, creating a clearly defined residential frontage and reinforcing the pedestrian environment.

The perceived mass of each building is reduced through the use of projecting window bays, and varied parapet heights that break up the roofline. These design features create shadow, depth, and variation that provide relief to the facades.

The placement of residential units at the front of both buildings further emphasizes the residential scale and appeal at those locations. Although the south building's garage entrance is located on the front elevation, this configuration is necessitated by the site's significant grade changes to provide feasible vehicular access. To reduce its visual impact, the garage door is recessed approximately nine feet into the structure. This recess not only minimizes the prominence of the garage opening but also creates additional architectural relief and facade articulation.

Attention has also been given to avoiding blank concrete walls and exposed foundation conditions. Exterior materials, including brick and siding, extend down over the concrete foundation walls to within a few inches of grade, maintaining a finished appearance around the entire building perimeter. This treatment is particularly important along the north facade of the south building, where the site requires the tallest retaining wall. The same combination of brick and complementary siding materials used on the residential levels is consistently applied to the garage level, helping the parking areas blend seamlessly with the residential portions of the buildings. Garage facades also incorporate residential-style windows that further disguise the parking function and reinforce the overall residential character of the development.

The architecture emphasizes verticality through a series of carefully coordinated design elements, including projecting brick parapets, narrow window bays, vertically oriented siding panels, and slender

brick accents along the building sides. Together, these features establish a consistent rhythm across the facades and reflect a contemporary residential design approach.

Special Site Considerations

The project site presents unique design challenges due to its natural topography. The property contains more than 30 feet of elevation change from one end to the other, necessitating extensive earthwork and significant retaining walls. These site improvements contribute considerably to the overall construction cost compared to a typical development site.

Throughout the design process, additional measures to further enhance compliance with certain design principles were explored. These included increasing the projection depth of window bays and creating facade recesses. However, such modifications would have resulted in substantial structural costs and reduced rentable floor area, making them impractical given the already significant costs associated with the site's topographic conditions. The final design therefore represents a balanced approach that achieves the intent of the zoning overlay standards while maintaining project feasibility.

Conclusion

This project fulfills the goals of the overlay district by replacing two outdated, low-density residential buildings with a thoughtfully designed, high-density multifamily development. The proposed buildings meet the applicable design standards, incorporate the underlying design principles of the district, and respond appropriately to the site's significant topographic constraints. Through its contemporary architectural character, varied materials, pedestrian-oriented design, and increased housing density, the project will make a positive contribution to the neighborhood and provide attractive new housing opportunities for the area's residents and student population.

ORDINANCE NO. 4594

AN ORDINANCE TO AMEND THE MUNICIPAL CODE OF THE CITY OF AMES, IOWA, BY ENACTING A NEW SECTION 29.1115, AND AMENDING SECTION 29.1100(2)(m), TABLE 29.1204(5), AND SECTION 29.1502(7)(c)(xi), THEREOF, FOR THE PURPOSE OF ESTABLISHING OVERLAY ZONE (O-WUPED) WEST UNIVERSITY PEDESTRIAN ENHANCEMENT DISTRICT REPEALING ANY AND ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT TO THE EXTENT OF SUCH CONFLICT; AND ESTABLISHING AN EFFECTIVE DATE.

BE IT ENACTED, by the City Council for the City of Ames, Iowa, that:

Section One. The Municipal Code of the City of Ames, Iowa shall be and the same is hereby amended by enacting a new Section 29.1115, and amending Section 29.1100(2)(m), Table 29.1204(5), and Section 29.1502(7)(c)(xi), as follows:

“Sec. 29.1100. OVERLAY ZONES.

(1) Purpose. Each of these Overlay Zones is intended to supplement one or more established Base Zones, in order to conserve the single-family residential character of certain areas of the City; preserve the historical resources of the City; protect the environment; establish distinctive entries to the City; reflect the unique development and parking needs of areas impacted by proximity to Iowa State University; encourage context-sensitive infill development; and establish Lincoln Way as a multi-modal transportation corridor while allowing for a mixed commercial/residential use type.

(2) Establishment. The Overlay Zones established by this Ordinance are:

...

(m) “O-WUPED” West University Pedestrian Enhancement District

...

Sec. 29.1115. “O-WUPED” West University Pedestrian Enhancement District

(1) Purpose. The intent of O-WUPED is to implement the Comprehensive Plan Residential Neighborhood 4 (RN-4) (Walkable Urban) Land Use Designation by encouraging new multi-family or mixed-use development with an enhanced relationship between buildings, the pedestrian environment, and the character of the area as a distinct place.

(2) Establishment. O-WUPED applies to all lands that have a base zoning district of Residential High Density (RH) and are zoned O-WUPED on the Zoning Map. O-WUPED replaces the O-UIW West University Impacted District upon approval. A Zoning Map Amendment may be approved provided the City Council makes the following findings:

- a. The designation is consistent with the Comprehensive Plan and has a future land use designation of RN-4 or, subject to review of commercial opportunities as mixed use, is within the Neighborhood Commercial Mixed Use sub-designation of RN-4.
- b. The property has a residential zoning of RH or is concurrently proposed to be changed to RH.
- c. The property is located along and/or between Sheldon Avenue or Hyland Avenues, north of Lincoln Way and south of Oakland.
- d. The proposed development is a new construction apartment dwelling or mixed-use development. O-WUPED shall not apply to development that involves conversions of or additions to existing structures or to single- and two-family dwellings.
- e. The existing and proposed infrastructure for the development is sufficient in design and capacity to support the project with water, sanitary sewer, storm drainage, streets and other transportation related facilities including pedestrian facilities.
- f. A Major Site Development Plan (MSDP), consistent with Sec. 29.1502, is submitted concurrently with the petition for rezoning. The MSDP must demonstrate consistency with all requirements and standards of the Overlay.

(3) Permitted Uses. The RH base zoning establishes permitted uses.

(4) Site Development Plan. No use, buildings, or site improvements may be changed or constructed without receiving approval of a MSDP per 29.1502.

(5) Distinction Between Design Standards, Design Principles, and Supplemental Development Standards.

- a. Design Standards are established as mandatory requirements to ensure the purpose of the Overlay is met in addition to conformance to other development standards of the City.
- b. The Design Principles are intended to guide the design components of the site and buildings and act as a framework to consider the project's consistency with the Overlay's purpose.
- c. Supplemental Development Standards provide flexibility regarding Zoning District and General Standards. In some instances, development may be required to exceed the

minimum standards and principles as part of the MSDP review to ensure the purpose of the Overlay is met.

(6) Design Standards. The following design standards are the minimum requirements necessary for a project to be developed under the O-WUPED.

a. Architectural Standards.

- i. Height. The maximum height of the principal building(s) shall be limited to 45 feet.
- ii. Materials. Clay brick shall be used as the primary building material with a minimum 60% coverage of each street facing facade. Measurement of the exterior surface does not include transparent windows, doors, and their trim. Garage doors are not exempt from the calculation.
- iii. Accent Features. The building design shall include architectural details to create visual interest and design diversity such as brick soldier course, corbel, cornice, parapets, lintels, projecting window bays, inset windows, and variable roof lines.

iv. Windows and Doors.

- (a) Street facing façades shall be subdivided and proportioned by openings, such as windows or doors, along no less than forty (40) percent of the length of the façade. For windows to be included in this calculation, they must be transparent.
- (b) Ground Floor Glazing. When a building includes ground floor commercial area, storefront glazing providing transparency into the commercial area is required.

v. Entrances.

- (a) One main pedestrian entrance per primary façade shall be recessed or framed by a sheltering element such as an overhang, arcade or portico providing at least six feet of width and four feet of depth that is architecturally integrated into the overall design. For walk up units, alternative measures of stoops, doors with sidelights, or other types of accented entry features may be approved.
- (b) All other pedestrian entrances shall be otherwise provided with a sheltering and defining element.

b. Site Design Standards.

i. Principal buildings shall be oriented towards the street and built at a maximum front setback of 25 feet.

ii. Pedestrian Entrances and Sidewalks.

(a) Each street facing façade shall include at least one functional pedestrian entrance for access to the building that includes a sidewalk that leads directly to the abutting street. The entrance should lead directly to a lobby or corridor providing access to internal units.

iii. Parking Areas. No parking shall be permitted in the front yard, consistent with Article 4 of Chapter 29. Detached garages shall be rear or side loaded. Parking garages, podiums, or decks shall include screening of vehicles.

iv. Driveways. Shared access is encouraged to minimize curb cuts and maintain consistent street frontage with minimal interruptions by driveways.

v. Site materials. No rocks, brick fragments or other hard, loose material over ¾-inch in size shall be used.

(7) Design Principles. The following design principles shall be guidelines relied upon when considering the site and architectural design components of a project.

a. Building orientation shall emphasize a front to a building, especially along Hyland Avenue, with an identifiable main building entrance.

b. Buildings three-stories or greater in height or requesting reduced setbacks should minimize overall massing with relief in the building plane through recessed façade(s) of at least 30 inches, variable roofs forms, pitched roofs parallel to the primary façade, and other architectural treatments.

c. Architectural design and placement of buildings should contribute to the character of the area and pedestrian environment. This would include, but not limited to, locating high activity areas and entrances at the front of the site, allowing for ground floor commercial spaces, locating residential units on the ground level of the primary façade when there is no commercial, and locating parking access to the side or rear of the building to avoid having parking define the ground level of the building.

- d. Building design should avoid blank walls of parking structures along street facades, including unfinished concrete walls and foundations
- e. High quality visually interesting and durable building materials should be used that include a mix of clay brick/masonry and contemporary cement board, wood, and metal paneling as materials to accentuate and create interest on the building. Brick and similar materials should wrap corners and be present on all facades to maintain design cohesiveness and interest.
- f. Architectural character is not restricted to one type of building design, but the design shall be evaluated for general conformance to the character of the area described herein. The general character of the area is positively defined by buildings utilizing brick materials, covered entries, accent elements, and pitched roofs for a traditional residential building appearance. Generally, traditional building design would utilize differentiated base, middle, and top level building design as a preferred approach for architectural compatibility.

Additionally, walk up townhomes style units with vertical orientation of architecture is also compatible with the area. Alternatively, the Council may approve a contemporary building design accentuating modern building materials and emphasizing vertical elements of a building with massing, roof elements, and corner connections to a street.
- g. Parking areas and driveways should be located in a manner that is supportive of the pedestrian environment, typically, with no more than one driveway per lot. Residential use or commercial use should be located between parking spaces in a parking structure, podium, or ramp to have active uses at ground level and shield parking.
- h. Sidewalks. Pedestrian sidewalk easements should be allowed for when needed for larger sidewalks to accommodate pedestrian traffic. Sidewalks along West Street are subject to commercial width standards.
- i. Bicycle Parking. Plans for bicycle parking should be identified.

(8) Supplemental Development Standards. Property that is zoned O-WUPED shall be developed in accordance with standards applicable to areas zoned RH. The Zone Supplemental Development Standards listed in Table 29.1204(5) below shall also apply and if they conflict with

any other standards of the Zoning Ordinance, they shall apply as the more specific standard:

...

Table 29.1204(5)
West University Pedestrian Enhancement District
Supplemental Development Standards

SUPPLEMENTAL DEVELOPMENT STANDARDS	O-WUPED
Maximum Density	83 bedrooms/acre. There is no maximum of dwelling units per acre.
Minimum Principal Building Setbacks Front Lot Line	15 feet for buildings with first floor residential units facing the street.
Parking Requirements One and Two Bedroom Dwelling Units Three Bedroom Dwelling Units Four Bedroom Dwelling Units Five Bedroom Dwelling Units Mixed Uses	1 space/DU 2.5 spaces/ DU 3.0 spaces/DU 4.0 spaces/DU Residential parking spaces provided may be credited towards required parking for commercial uses as part of the MSDP approval.
Driveways	A driveway size reduction to a minimum of 20 feet may be granted to enhance the pedestrian environment at the sidewalk.

ARTICLE 15

PROCEDURES

Sec. 29.1502. SITE DEVELOPMENT PLAN REVIEW.

(7) Alternative Design Review.

(a) Any Numeric Zoning Development Standard or General Design Standard regulations identified in this Section may be adjusted up to

20% by approval of the Planning Director if the following criteria are met:

...
(c) Eligible Zoning Districts and Development Standards:

(xi) West University Pedestrian Enhancement District (O-WUPED)

..."

Section Two. All ordinances, or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict, if any.

Section Three. This ordinance shall be in full force and effect from and after its passage and publication as required by law.

Passed this 28 day of April, 2026.

Taylor Swanson
Deputy City Clerk

John A. Haila
John A. Haila, Mayor

First Reading: 3.24.2026

Second Reading: 4.14.2026

Third Reading: 4.28.2026

Passed on: 4.28.2026

I, Renee Hall, City Clerk of the City of Ames, Iowa, hereby certify that the above and foregoing is a true copy of Ordinance No. 4594, passed by the City Council of said City at the meeting held on April 28, 2026 and signed by the Mayor on April 28, 2026, and published in the Ames Tribune on May 2, 2026.

Renee Hall
Renee Hall, City Clerk