

COUNCIL ACTION FORM

REQUEST: **AMENDMENT TO THE ADAPTIVE REUSE PLAN AND APPROVAL OF A MAJOR SITE DEVELOPMENT PLAN FOR A FAST FOOD RESTAURANT AT 2615 GRAND AVENUE**

BACKGROUND:

Ed Kaizer represents the property owner of 2615 Grand (Grand 1350 LLC) and is requesting an amendment to the Adaptive Reuse Plan (ADP) and approval of a Major Site Development Plan to allow a fast-food restaurant (KFC) with a drive-through on the property. The proposed new fast-food project alters the current approved ADP, resulting in the need for an amendment with a Major Site Development Plan.

In 2007, City Council approved an Adaptive Reuse Plan (ADP) for North Grand Mall. An ADP allows for development flexibility for redevelopment of economically significant commercial properties or historic properties. The entire Mall site from 24th Street to 30th Street, including a small parcel on the west side of Ferndale Avenue, and the subject 2615 Grand site, were included within the ADP. A location map showing the subject property and the ADP boundaries is included as Attachment A. The area the ADP applies to is zoned Planned Regional Commercial (PRC).

In 2012, an amended ADP for the entire site was approved to facilitate redevelopment of the former Sears store and buildings to the south (e.g. Kohl's). Other amendments have been approved to construct the Starbucks project and B-Bop's.

While the ADP site encompasses multiple parcels and ownerships, it views all included properties as a single development area for the purpose of shared parking, access, and landscaping amenities. At the time of approval of the 2007 ADP, it was determined that the North Grand Mall site was of significant economic value to the City and that support of its adaptive reuse with allowances for waivers to certain parking and landscaping standards were necessary. Additionally, the ADP includes development parameters for redoing parking lots and constructing new buildings consistent with the Plan.

One key waiver was to the parking ratio allowed for the site. The ADP allows for a ratio of 4 parking stalls/1,000 square feet of building area for the mall plus other specified use allowances related to parking. **The total required parking is accounted for with an overall site plan that includes a minimum number of striped parking stalls. Any change of use or building that alters this overall plan requires an amendment.**

There are currently 1,726 parking spaces site-wide. With the previous amendments, the parking ratio was permitted to fall below 4/1,000 square feet (3.86 per 1,000 square feet) due to allowances for fitness uses on the site and new structures impacting existing parking. The amendments also anticipated long-term improvements to the northeast corner of the site that will add 20 parking spaces.

PROJECT DESCRIPTION:

The existing brick building (former US Bank) will be retained and reused for the new restaurant. Related parking and drive through circulation affect the abutting property that is under the same ownership. The primary issue for reuse related to the site is the proposal for circulation of the drive-through and additional reduction in required parking.

Excerpts from the site plan including building elevations are included with Attachment B. An addendum includes more information on the modifications to the building and site design elements. Several conditions are also proposed requiring a lighting plan, additional directional signage, and landscaping prior to occupancy. These are further discussed in the Addendum.

Site

The building site is a 0.18 acres island within the Mall site. It contains the bank building, former bank drive-through area, and three parking spaces on the south side of the building. It is considered nonconforming in terms of lot area, minimum frontage, and minimum landscaping requirements. The building is setback 50 feet from Grand Avenue.

The site does not have frontage directly on Grand Avenue; it is separated from Grand by a 40-foot-wide property that includes a row of parking stalls and access aisle. Both the subject property and this area are owned by Grand 1350 LLC, and the subject property is permitted to use these parking spaces and access aisles through the previously approved ADP.

Site Circulation and Drive-Through Design

Reuse of the site for a fast-food restaurant was complicated by how to queue vehicles for the drive-through without impeding the general circulation within the site. The design directs traffic to approach the drive-through from the south. The menu board is located on the southeast corner of the building, parallel to Grand Avenue. The drive through lane adjacent to the building will be one way as it also acts as the access aisle for proposed angled parking. Once ordering is complete, vehicles will then turn left around the north end of the building to access the pick-up window and exit to the main mall parking lot driveway.

Staff has reviewed multiple iterations of how to configure a drive through to function appropriately and meet queuing and circulation interests. With vehicles approaching from

the south and following the proposed directional signage, staff believes that adequate queueing will exist and that the primary drive aisles of the parking area will remain unobstructed.

Due to a limited turning radius, vehicles traveling east along the south side of the building cannot turn left to directly enter the drive-through. Staff has proposed a condition to discourage drivers from approach the drive-through at this location. Additional striping on the pavement near the menu board and a diverter will delineate the drive aisle and reinforce right-turn-only movement at this location to have drive-through vehicles circulate south through the parking lot.

Directional signage on the pavement will direct this traffic to turn right before reaching this point and loop around the off-site parking area south of the building to enter the queue. Staff proposes a condition that similar signage be installed at the southern entrance to the off-site parking area to reinforce this routing and prevent vehicles from attempting to enter the queue near the building.

To approve the proposed drive through, a waiver of the 5-foot drive through setback requirement is required with the ADP amendment.

Parking

The overall result of the proposed plan is a net loss of 6 parking spaces for the overall ADP due to a change in the configuration of the parking.

The original bank use would have been accounted for at 4 spaces per 1000 gross square feet, or 9 parking spaces with the 2012 ADP. A fast-food restaurant would apply a minimum requirement of 12 spaces per 1,000 square feet of customer area, of which staff calculated as only being 700 square feet for 8 required parking spaces. The seating area includes fixed seating for 28 people. **Based upon zoning minimum standards there is no net change in parking demand, but the overall supply is reduced by 6 spaces, which requires a waiver to the approved parking ratio of the ADP**

The reconfiguration is of the 90-degree parking spaces east of the building along Grand. These spaces will be restriped into seven 45-degree angled parking spaces, including two accessible spaces and their associated access aisle. This is because the access aisle behind the spaces will be changed to one-way to accommodate the drive through and angled parking. Although this arrangement of drive through and angled parking is not ideal, it is approvable. Importantly, there is a large parking area south of the building with standard parking spaces and access that will likely be the predominant location of customer parking.

Landscaping

The 2012 ADP included allowances for reduced landscaping compared to Zoning Ordinance requirements of overall landscape percentages and specific planting requirements. Along the Grand Avenue frontage, a combination of trees and shrubs were to be planted. The required shrubs are missing along the frontage abutting the development area are required to replanted in accordance with the ADP.

The building site currently has no landscaping. The site is covered entirely with impervious surfaces, either paving or the existing building and therefore nonconforming. In general, where there are existing nonconformities, a development is required to conform with current standards as practicable without causing new deficiencies and in proportion to the proposed improvements.

The area north of the building will be altered with the drive through plan, including a new island. The island will be landscaped with grass and two overstory trees, increasing pervious area by 900 square feet. This exceeds the required 10% of the parking area (500 square feet) that is required to be landscaped, and approaches the 15% (1,200 square feet) of the lot area required to be landscaped.

Staff finds that this is the greatest level of compliance that can be practicably achieved. There are no other areas impacted by the development where new landscaping could be added and the landscaped island cannot be enlarged or it will interfere with site circulation.

Since this is an ADP, waivers to required landscaping can be approved by the City Council. The City Council has the ability to decide that the landscaping as shown on the site plan is adequate for the purpose of enhancing the site and supporting reinvestment.

WAIVERS:

Since City Council has already made the determination of the long-term benefits of the redevelopment of the site with the 2007 ADP, the amendment requires Council to only consider the requested waivers to the Development Standards and determine if they believe it is in the interest of the neighborhood and the City to approve them. The specific waivers requested include:

- 1) Parking.** As discussed earlier for parking, the proposed use itself has sufficient parking on-site and nearby, but the overall site is short of required parking for all uses established with the original approval subsequent amendments. The applicant requests approval providing for 1,720 parking spaces on the site for the proposed and existing mix of uses, a reduction of 6 spaces or to 3.84 spaces per 1,000 square feet. Through approval of the amendment, City Council would permit the continued waiver for reduction of overall parking requirements.

- 2) **Drive-Through Setback.** Drive-throughs require a 5-foot setback from all property lines. The drive-through will include queuing on the property under common ownership to the south. Cars will also queue adjacent to the east property line. While the 5-foot setback is not met from the subject property's property lines, it is met from all exterior property lines and property lines not under common ownership.
- 3) **Landscaping.** As discussed for landscaping, the proposed plan substantially increases the landscaping present on site. The proposed landscaping also represents the most that can be accomplished relative to proposed site improvements. This meets the intent of the original ADP approach to enhancements to the site with reuse.

ALTERNATIVES:

- 1) The Planning and Zoning Commission can recommend that the City Council approve the amendment to the Adaptive Reuse Plan and Major Site Development Plan for 2615 Grand Avenue subject to the following conditions.
 - a. Directional pavement signage be installed at the southern entrance to the drive-through to direct traffic prior to occupancy. Work to define the painted area and diverter options at the southeast corner of the building to deter vehicle entering the drive through queuing area.
 - b. The 8 shrubs along the site frontage with Grand are replanted prior to occupancy.
 - c. A lighting plan compliant with City standards is submitted for review and approved prior to occupancy.
- 2) The Planning and Zoning Commission can recommend that the City Council approve the amendment to the Adaptive Reuse Plan and Major Site Development Plan for 2615 Grand Avenue subject to modified conditions.
- 3) The Planning and Zoning Commission can recommend that the City Council deny the amendment to the Adaptive Reuse Plan and Major Site Development Plan for 2615 Grand Avenue.

RECOMMENDED ACTION:

In reviewing the proposed amendment to the Adaptive Reuse Plan/Major Site Development Plan, staff prioritized review of the circulation for the site. The proposed plan accommodates a drive-through use that does not impact the overall circulation of the site and creates a new restaurant space that will be complementary to the uses at the mall and provide services to the residents of north Ames.

The overall benefit of adding new uses to the site support findings for approval of the Adaptive Reuse Plan amendment, even with the granting of waivers as requested to facilitate the design.

Therefore, the Planning and Housing Department supports Alternative #1.

ADDENDUM:

Additional Building and Site Design Information

Building

The existing brick building will remain. The canopy that previously covered the bank drive-through lanes on the north side of the building has been removed.

The brick will be painted and parapet rebuilt. The existing transom windows that wrap all four sides of the building will be maintained.

A new primary entrance will be on the south side of the building, adjacent to the existing parking area on the site. While the entrance to the building facing Grand will be removed, it will be replaced with windows into the dining area. The overall design including the retention of the brick and improved fenestration are consistent with contemporary commercial design qualities and the Mall site development overall.

Pedestrian Access

A new sidewalk connection will extend from the public sidewalk on Grand Avenue onto the site. A striped pedestrian crossing is proposed across the drive aisle between the building and parking spaces along Grand. This will connect with a sidewalk on the south side of the building that provides pedestrian access to the primary entrance.

Screening

New mechanical equipment mounted on the roof will be screened with a metal screen, painted to match the building trim.

A dumpster will be located east of the drive-through island and enclosed with a 6-foot-tall fence, meeting screening requirements.

A new transformer is proposed in the drive-through island, behind the centerline of the building. Due to this location, the Planning Director may approve screening to meet the requirements of this section solely based upon front yard landscaping and other site features that obscure equipment. Ornamental grasses that will be 5 feet high at maturity are to be planted in front of the transformer to meet this allowance.

Signs

All signs including painted wall signs will be required to reviewed and approved separately after approval of the ADP amendment and Major Site Development Plan. Uniquely, the site has no street frontage, but it will be granted signage as if the lot line along Grand is a street frontage. Because Grand Avenue is part of U.S. Highway 69, the Iowa DOT must also review the signage package in addition to City of Ames review.

The applicant does desire to reuse existing pole sign at the southwest corner of the site. Its reuse is currently proposed as a standard cabinet sign and not a “chicken bucket” that was an historic icon for the KFC.

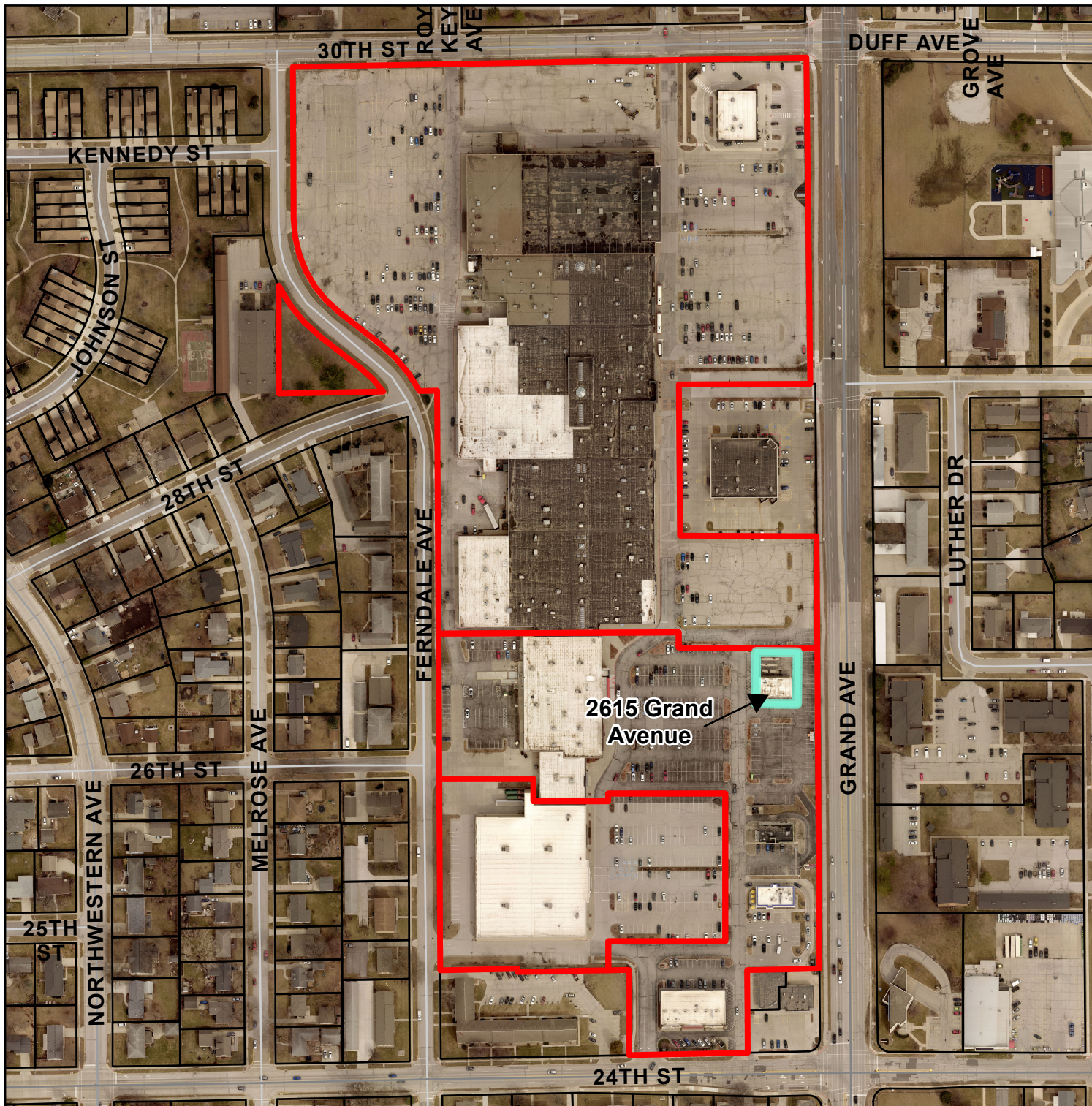
Lighting

A lighting plan will be submitted after approval of the Major Site Development Plan. The lighting is required to be compliant with City standards prior to occupancy, per a recommended condition. All outdoor lighting must meet zoning standards based upon downlighting to address “Dark Sky” requirements. This includes LED accent/strip lighting and other exterior accent light on the building and any exterior lights aimed at the menu board or other features. The applicant indicates existing parking lot lighting will remain.

Utilities

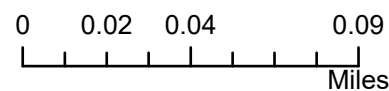
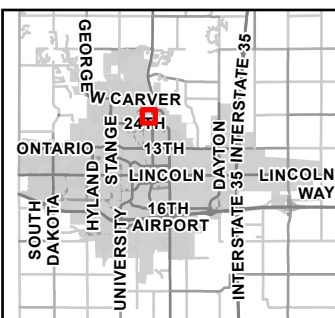
A new 6-inch water line is shown on the site plan serving the building. This is no longer required. The existing 1-inch line is adequate to serve the proposed use, as a requirement to install a sprinkler system for basement is no longer applicable following removal of internal storage room doors that previously restricted hose access.

Attachment A - Location Map



Legend

- 2012 Adaptive Reuse Plan Limits
- Parcels
- Subject Property



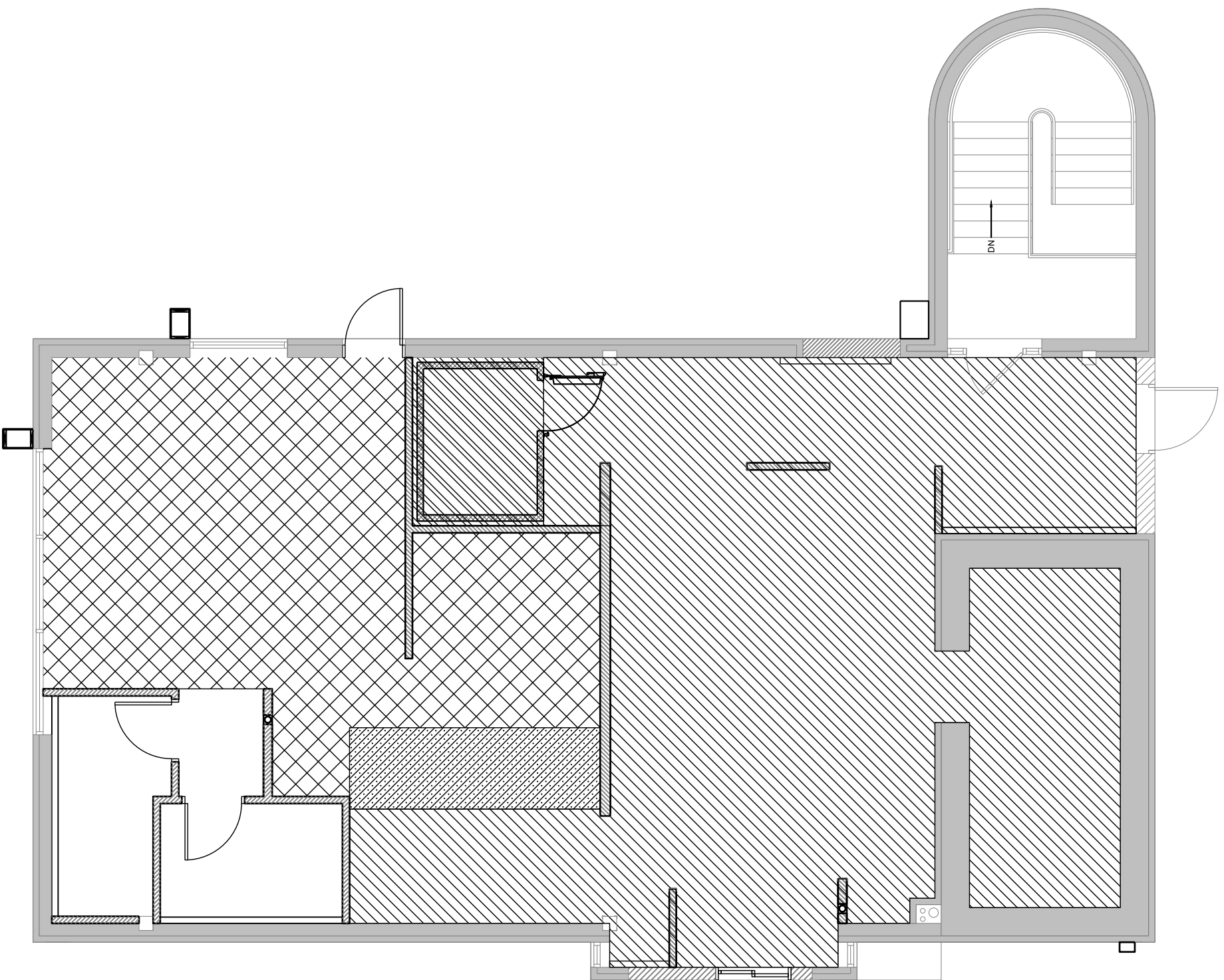
PROJECT PROPERTIES	
BUILDING PLAN REVIEW: NEW ASSEMBLY (A-2) RESTAURANT	
1. OCCUPANCY CLASSIFICATION:	BUILDING PROPERTIES
(IBC)	RESTAURANT A-2
(NFPA 101)	
2. CONSTRUCTION TYPE:	
IA=PROTECTED B=UNPROTECTED (NFPA 101)	TYPE V-B (000) UNSPRINKLERED
3. AREA & HEIGHT LIMITATIONS:	
MAX HEIGHT = 40'-0" (2018 IBC)	STORIES PROVIDED = 1 STORY + BASEMENT
MAX STORIES = 1 STORY (2018 IBC)	HEIGHT PROVIDED = 17'-2"
MAX AREA = 6,000 S.F. (2018 IBC)	AREA PROVIDED = 2,127 SF
4. FIRE SUPPRESSION / ALARM:	
SUPPRESSION:	UNSPRINKLERED
5. FIRE PROTECTION REQUIREMENTS FOR BUILDING ELEMENTS (HOURS):	(2018 IBC)
STRUCTURAL FRAME:	
COLUMNS & GIRDERS, BEAMS, TRUSSES	0 HOUR
BEARING WALLS:	
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NONBEARING WALLS & PARTITIONS:	
EXTERIOR	(SEE 2018 IBC TABLE 602)
NONBEARING WALLS & PARTITIONS:	
INTERIOR	0 HOUR
FLOOR CONSTRUCTION:	
INCLUDING SUPPORTING BEAMS & JOISTS	0 HOUR
ROOF CONSTRUCTION:	
INCLUDING SUPPORTING BEAMS & JOISTS	0 HOUR
FIRE-RESISTANT RATING FOR EXTERIOR WALLS:	
(2018 IBC)	
X ≥ 30'-0" TO ADJACENT BUILDING	0 HOUR

PROJECT PROPERTIES (CONT.)	
BUILDING PLAN REVIEW: NEW BUSINESS - RESTAURANT	
VERTICAL SHAFTS: (2018 IBC & NFPA)	BUILDING PROPERTIES
INCIDENTAL USE: (2018 IBC)	N/A
TENANT SEPARATION: (2018 IBC)	N/A
6. OCCUPANT LOAD:	
(NFPA TABLE 7.3.1.2)	49 OCCUPANTS TOTAL
7. EXIT CAPACITY:	
(NFPA TABLE 7.3.3.1)	49 x 0.2 = 9.8' REQUIRED
2" PER OCCUPANT (LEVEL COMPONENTS); (FLOORS)	96' PROVIDED
3" PER OCCUPANT (STAIRWAYS):	N/A
8. COMMON PATH, DEAD-END, & TRAVEL DISTANCE LIMITS	SEE PLAN THIS SHEET
(NFPA TABLE A.7.6)	
(2018 IBC)	
COMMON PATH LIMIT:	100 FT. (NON SPRINKLED) N/A
DEAD-END LIMIT:	20 FT. (NON SPRINKLED) N/A
TRAVEL DISTANCE LIMIT:	200 FT. (NON SPRINKLED) 66'-2" < 200 FT.

FIRE PROTECTION LEGEND:	
	EMERGENCY EXIT SIGN

NOTES	
1. NO FIRE RATED WALLS ARE REQUIRED FOR TYPE VB BUILDINGS.	

BUILDING PROPERTIES C

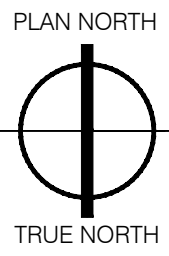
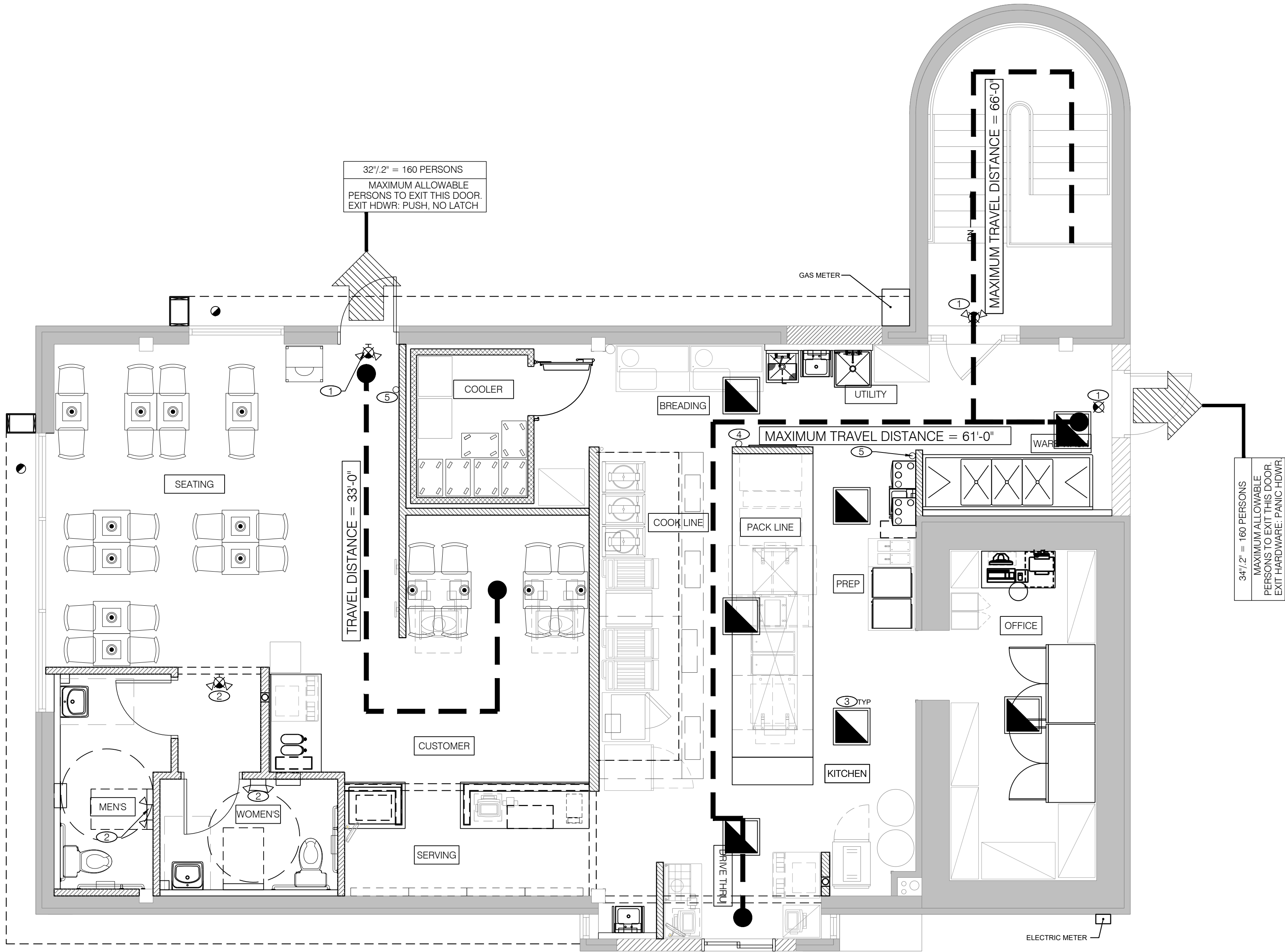


OCCUPANT LEGEND	
ASSEMBLY-FIXED TABLES & CHAIRS 28 SEATS = 28 OCCUPANTS	
ASSEMBLY- STANDING CUSTOMER STANDING SPACE 59 SF NET / 5 = 12 OCCUPANTS	
KITCHEN EMPLOYEE SPACE 906 SF NET / 200 = 5 OCCUPANTS	
ACCESSORY STORAGE COLD STORAGE 62 SF NET / 300 = 1 OCCUPANT	
TOTAL GRADE LEVEL OCCUPANT LOAD 46	

OCCUPANT LOAD KEY PLAN B

- 1 EMERGENCY EXIT SIGN
- 2 EMERGENCY ILLUMINATED FIXTURE
- 3 CONTINUOUSLY LIT LED FIXTURES
- 4 TYPE K FIRE EXTINGUISHER
- 5 20 LB TYPE ABC FIRE EXTINGUISHER.

LIFE SAFETY PLAN NOTES C



LIFE SAFETY PLAN 1/4"=1'-0" A



KFC



TESSERE

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed architect under the laws of the state of Iowa.

Lee Manske Date

License number 07033
Renewal date 06/30/2025
Pages or sheets covered by this seal include Title, Site and Architectural.

21689R24001

REVISION:
Mark Date By
04.01.2025 MEW
OWNER COMMENTS

PROJECT TITLE
DT1800
RED

2615 GRAND AVE
AMES, IA 50010

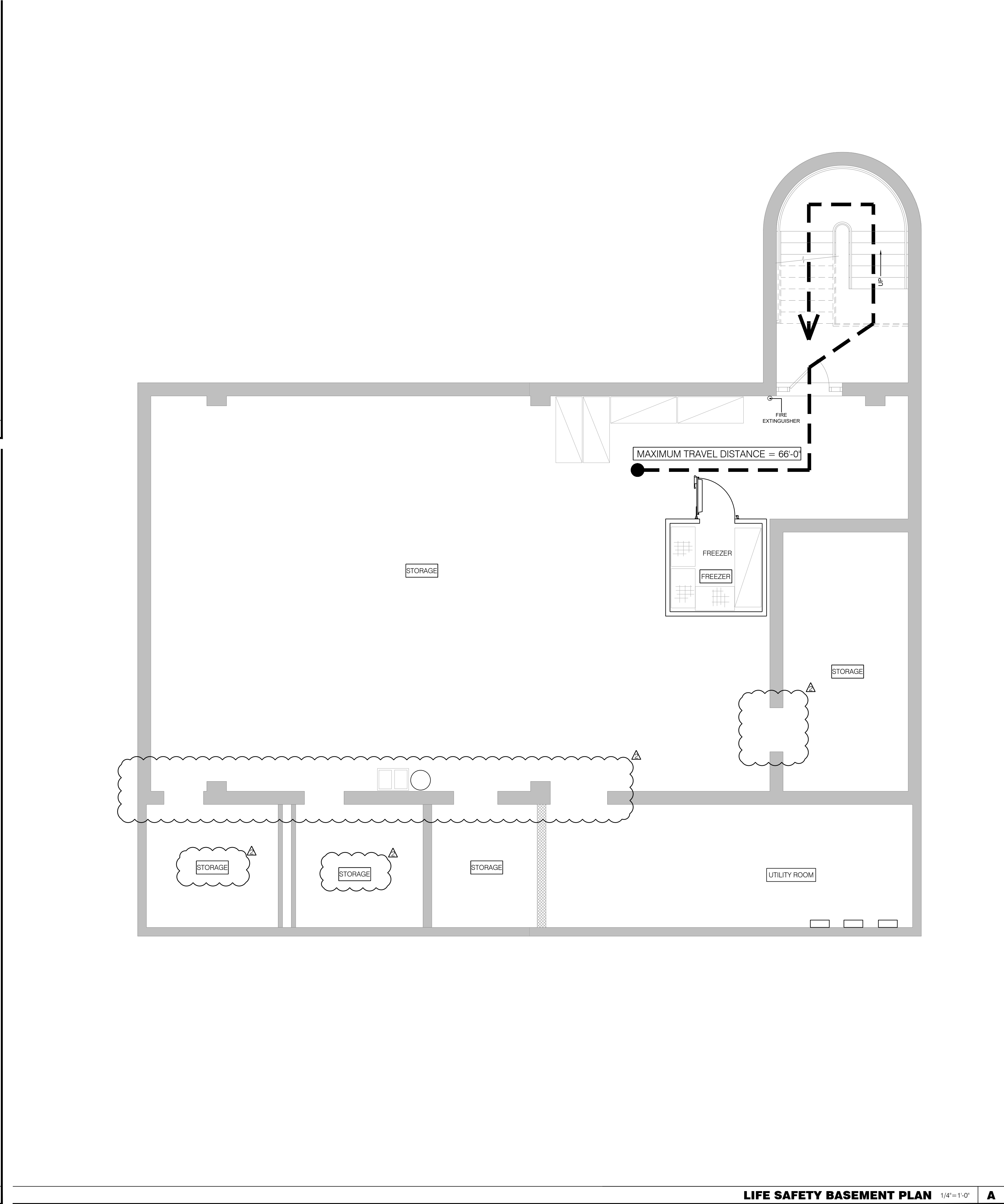
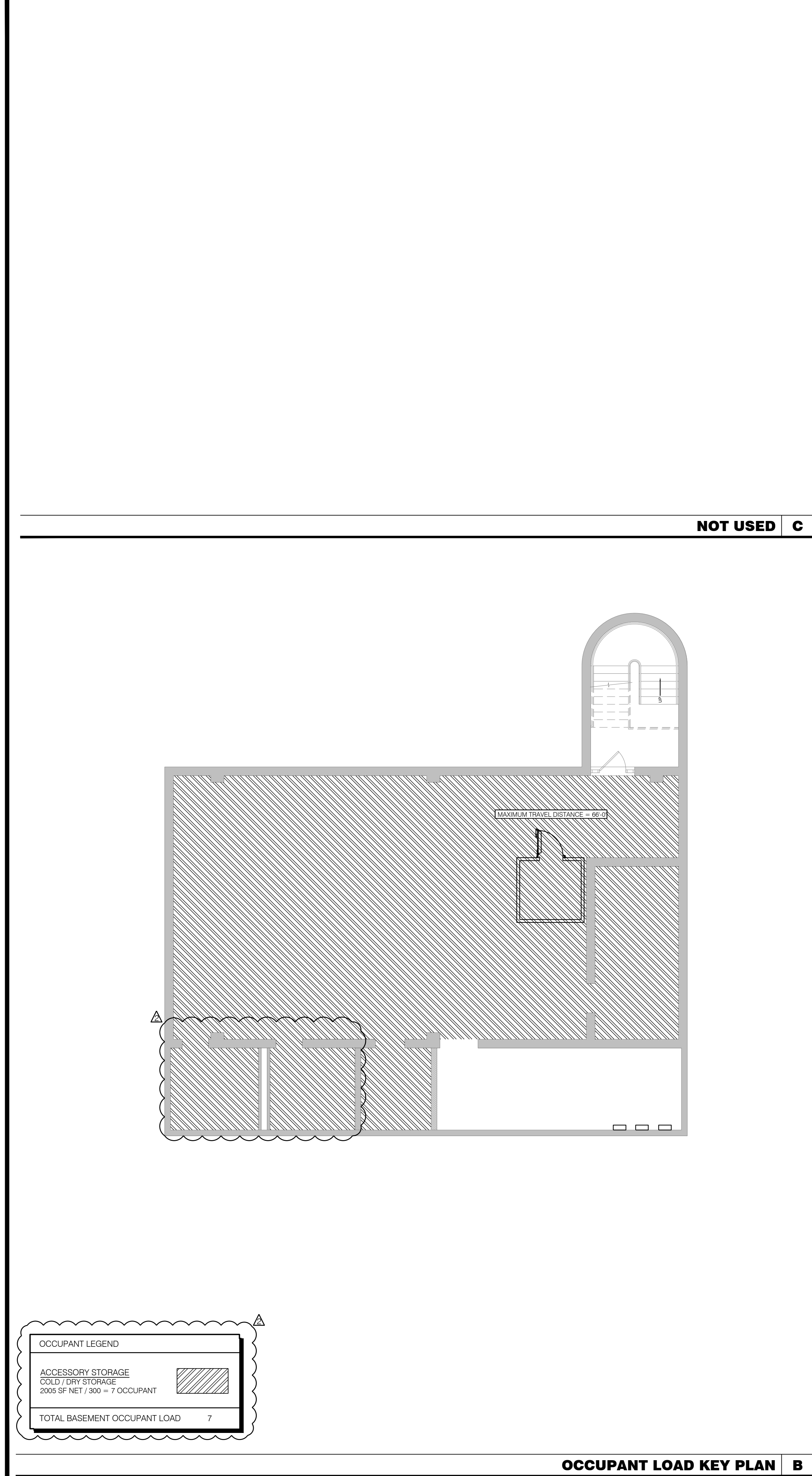
STORE NO. C029078

ISSUE DATE 09.11.2024

SHEET TITLE
LIFE SAFETY PLAN

SHEET NO.

A-0.1



KFC



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SHEET TITLE
LIFE SAFETY
BASEMENT PLAN

SHEET NO.

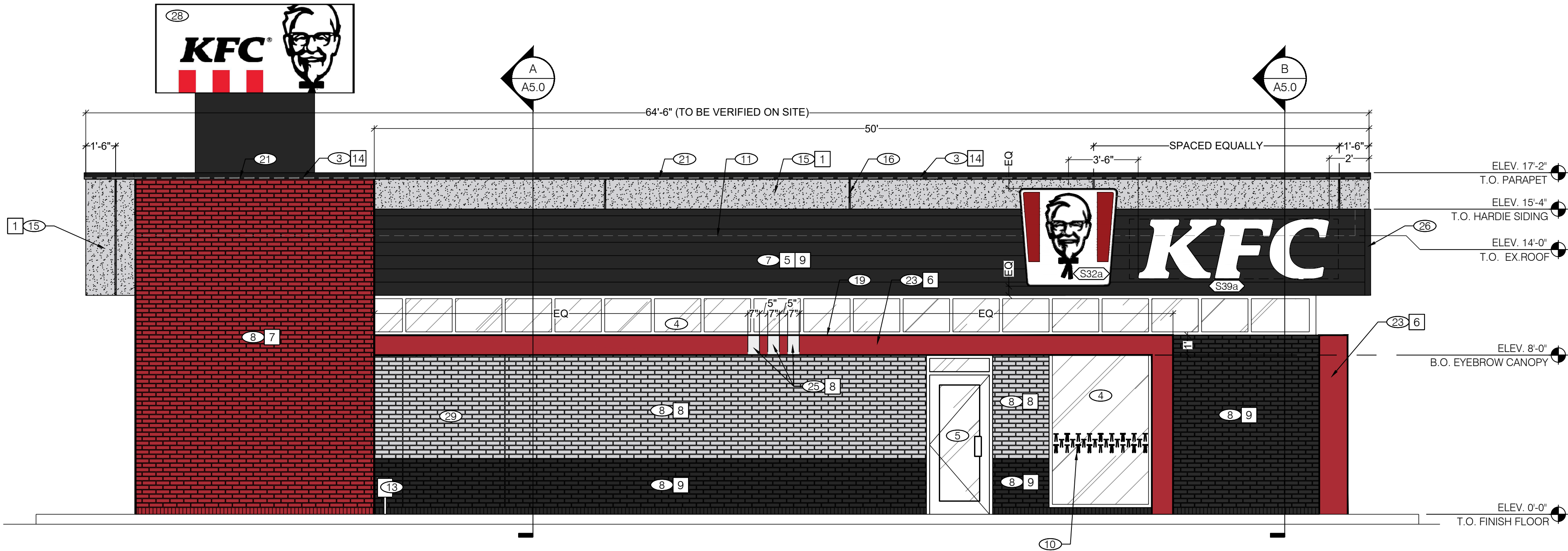
A-0.2

- 1 NOT USED.
2 NOT USED.
3 PARAPET COPING. COLOR AS NOTED.
4 EXISTING STOREFRONT WINDOWS TO REMAIN.
5 INSTALL NEW ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.
6 NOT USED.
7 FIBER CEMENT SHIPLAP SIDING.
8 EXISTING BRICK TO REMAIN.
9 NEW GLAZING TO BE SUPPLIED AND INSTALL BY GC. MODIFY FRAMING AS REQUIRED.
10 WINDOW VINYL DECAL 'S38', SEE A-7.3.
11 INDICATES TOP OF EXISTING ROOF.
12 NOT USED.
13 GAS METER. DO NOT PAINT METER.
14 CONCRETE SILL TO REMAIN. PAINT AS SPECIFIED
15 1.5" EIFS - COLOR AS NOTED.
16 3/4" EIFS V-GROOVE, TYP. SEE DETAIL 13/A-6.0.
17 VENDOR SUPPLIED CANOPY. SEE DETAIL 2/A-6.2.
18 NOT USED.
19 CONTINUOUS LINEAR ACCENT LIGHT FIXTURE - RED. REFER TO ELECTRICAL.
20 NOT USED.
21 CONTINUOUS LINEAR ACCENT LIGHT FIXTURE - WHITE. REFER TO ELECTRICAL. SEE DETAIL 17/A-6.2.
22 NOT USED.
23 EYEBROW CANOPY AND VERTICAL ELEMENT WITH ACM PANELS. SEE DETAILS 3/A-6.2 6/A-6.2.
24 NOT USED
25 WHITE PAINTED STRIPING AS INDICATED.
26 2.5" FIBER CEMENT TRIM TO MATCH PLANKS.
27 NOT USED
28 NEW 2024 PANEL SIGN ON EXISTING ROOF MOUNT PYLON. COORDINATE INSTALLATION WITH SIGN VENDOR. G.C. TO PAINT PYLON FRAME AND POST BLACK.
29 INFILL EXISTING OPENING WITH CONSTRUCTION AND BRICK VENEER TO MATCH SURROUNDING

NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET

KEY NOTES

E



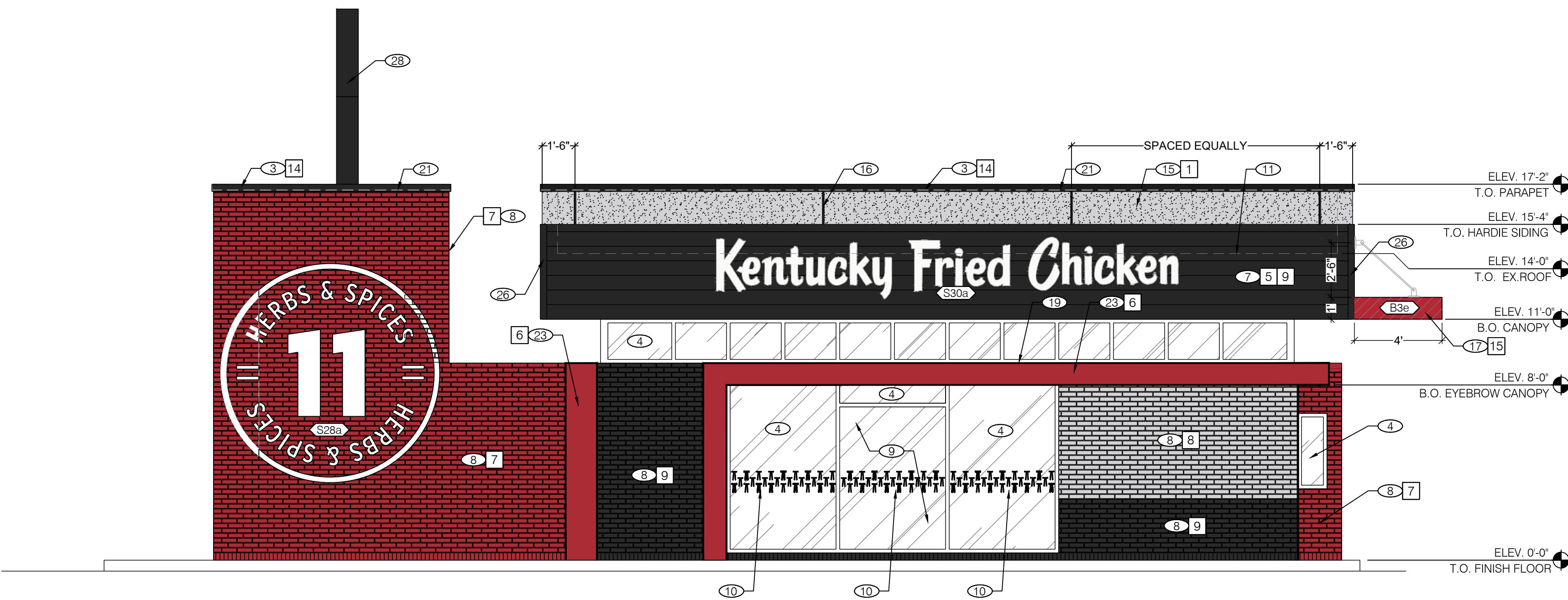
MAIN ENTRY ELEVATION 1/4"=1'-0"

A

SYMBOL	EXTERIOR WALL AREA	MANUFACTURER	DESCRIPTION	NOTES
EIFS				
1 ef-1	GREY EIFS 1.5"	STO CORP.	MATCH BM PAPER WHITE 1590	
2 ef-2	RED EIFS 1.5"	STO CORP.	MATCH BM EXOTIC RED 2086-10	
3 ef-3	BLACK EIFS 3" (ALTERNATE)	STO CORP.	MATCH BM BLACK JACK 2133-20	EIFS ALTERNATE FOR 1c-1 PROVIDE 3/4" HOIZONTAL V-GROOVE SCORING 9" APART.
EXTERIOR CLADDING				
5 fc-1	FIBER CEMENT SIDING - HORIZ. SHIPLAP ON 2x2 FURRINGS W/ 1/2" PLYWOOD	JAMES HARDIE	ARTISAN SHIPLAP SIDING WITH MATCHING 2.5" TRIM PAINTED p-9	www.jameshardie.com Hardie Artisan Siding - Shiplap 9" Exposure
6 ac-1	ACM PANELS	ALPOLIC	MATCH BM EXOTIC RED 2086-10	
PAINT				
7 p-1	RED EXTERIOR PAINT	BENJAMIN MOORE	BM EXOTIC RED 2086-10	
8 p-2	WHITE EXTERIOR PAINT	BENJAMIN MOORE	BM WEDDING VEIL 2125-70	
9 p-9	BLACK EXTERIOR PAINT	BENJAMIN MOORE	BM BLACK JACK 2133-20	
10 p-10	GREY EXTERIOR PAINT	BENJAMIN MOORE	BM PAPER WHITE 1590	
WOOD				
11 w-1	EXTERIOR WOOD FACADE (LIGHT)	IDENTITY WOOD PRODUCTS	COLOR: KFC BISCUIT	½ OF EACH, SEE 18/A6.1 FOR PATTERN. SUBMIT MOCK UP TO OWNER / ARCHITECT FOR APPROVAL.
12 w-2	EXTERIOR WOOD FACADE (MEDIUM)	IDENTITY WOOD PRODUCTS	COLOR: KFC FINGER LICKING	
13 w-3	EXTERIOR WOOD FACADE (DARK)	IDENTITY WOOD PRODUCTS	COLOR: KFC ORIGINAL RECIPE	
METAL TRIM				
14 m-3	EXTERIOR METAL TRIM (BLACK)		MATCH BM BLACK JACK 2133-20	
15 m-1	EXTERIOR METAL TRIM (RED)		MATCH BM EXOTIC RED 2086-10	

EXTERIOR FINISH SCHEDULE

F



FRONT ELEVATION 1/4"=1'-0"

B

MISCELLANEOUS:

A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

B. SEE FINISH SCHEDULE ON SHEET A7.3 FOR MORE INFORMATION SEALERS.

A. PROVIDE SEALANT PER MFR'S SPECIFICATIONS AT ALL WALL AND ROOF PENETRATIONS.

B. PROVIDE SEALANT PER MFR'S SPECIFICATIONS AT ALL STOREFRONT, STOREFRONT DOOR, WINDOW AND SERVICE DOOR FRAMES @ HEAD AND JAMB ONLY. DO NOT SEAL SILL AT WINDOWS.

VENDOR SUPPLIED / INSTALLED ELEMENTS:

GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

GENERAL NOTES

D

TAG	ITEM DESCRIPTION	SIGNAGE DIMENSIONS	SIGNAGE AREA	ELEC
B3e	DT WINDOW CANOPY - SIGNAGE VENDOR	N/A	N/A	YES
S39a	KFC CHANNEL LETTERS - WHITE (USE PROPORTIONAL SIZED BUCKET 60")	2'-6"H X 8'-2.3"W	20.5 S.F.	YES
S39b	KFC CHANNEL LETTERS - WHITE (ALTERNATE - USE PROPORTIONAL SIZED BUCKET 48")	2'-0"H X 6'-6.6"W	13.1 S.F.	YES
S40a	KFC CHANNEL LETTERS - RED (USE PROPORTIONAL SIZED BUCKET 60")	2'-6"H X 8'-2.3"W	20.5 S.F.	YES
S40b	KFC CHANNEL LETTERS - RED (ALTERNATE - USE PROPORTIONAL SIZED BUCKET 48")	2'-0"H X 6'-6.6"W	13.1 S.F.	YES
S28a	11 HERBS & SPICES - STENCIL (10 DEGREE ROTATION)	12'-0" DIA.	37.7 S.F.	NO
S30a	29.5" HIGH KENTUCKY FRIED CHICKEN WHITE STACKED LETTERS	8'-0" H X 7'-4.25"W	58 S.F.	NO
S31e	POSTER FRAME - ON DISPLAY	45"H X 27"W	8.44 S.F.	NO
S32a	ILLUMINATED BUCKET WITH COLONEL ONLY (STANDARD)	60" X 60"	25 S.F.	YES
S32b	ILLUMINATED BUCKET WITH COLONEL ONLY (ALTERNATE)	48" X 48"	16 S.F.	YES
S35	IT'S FINGER LICKIN' GOOD STENCIL	7'-6"H X 13'-5" W	100.7 S.F.	NO

- NOTES:
1. FOR WINDOW DECALS AND SIGNAGE, REFER TO INTERIOR ELEVATIONS SHEET A8.0 AND SIGNAGE SCHEDULE ON SHEET A7.3.
2. REFER TO GRAPHICS PACKAGE FOR ADDITIONAL INFORMATION.

EXTERIOR GRAPHICS

C



KFC



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SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NO.

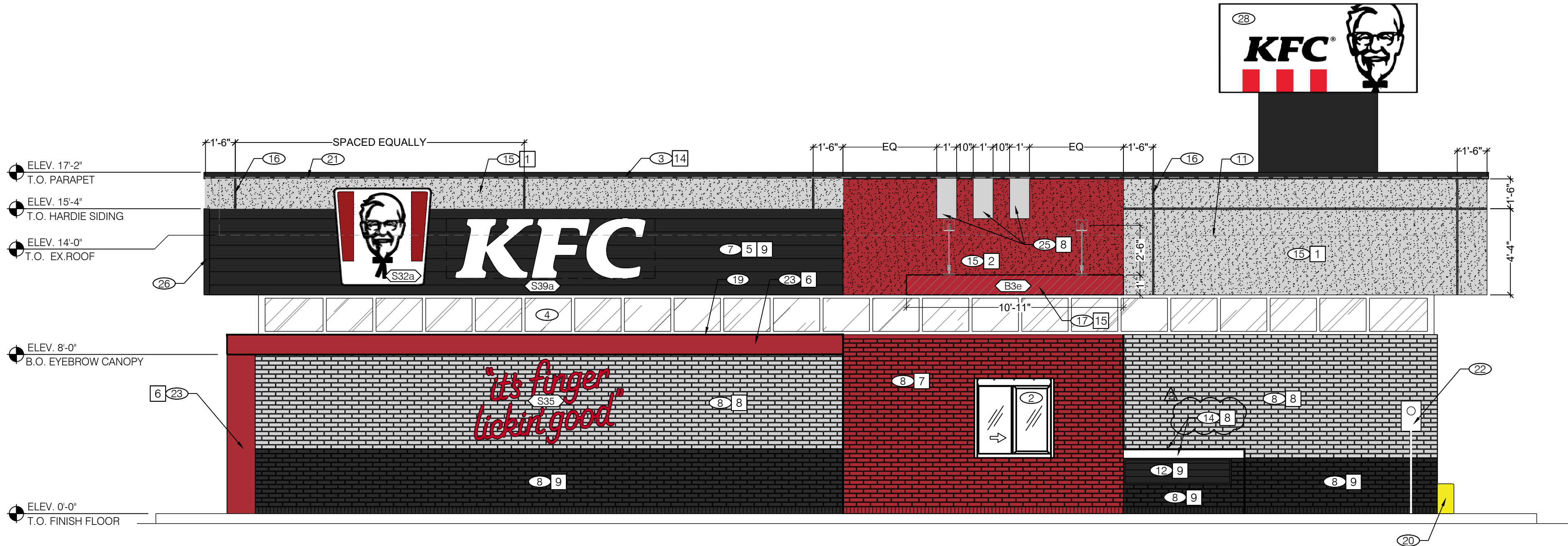
A-4.0

- 1 SECURITY DOOR. G.C. TO SUPPLY AND INSTALL.
- 2 G.C. TO SUPPLY AND INSTALL NEW DRIVE-THRU WINDOW. SEE SHEET A1.0.
- 3 PARAPET COPING. COLOR AS NOTED.
- 4 EXISTING STOREFRONT WINDOWS TO REMAIN.
- 5 NOT USED.
- 6 WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0.
- 7 FIBER CEMENT SHIPLAP SIDING.
- 8 EXISTING BRICK TO REMAIN.
- 9 NOT USED.
- 10 NOT USED.
- 11 INDICATES TOP OF EXISTING ROOF.
- 12 KEEP AIR VENT AND PAINT AS SPECIFIED.
- 13 NOT USED.
- 14 CONCRETE SILL TO REMAIN, PAINT AS SPECIFIED
- 15 1.5" EIFS - COLOR AS NOTED.
- 16 3/4" EIFS V-GROOVE, TYP. SEE DETAIL 13/A-6.0.
- 17 VENDOR SUPPLIED CANOPY. SEE DETAIL 2/A-6.2.
- 18 STAINLESS STEEL CORNER GUARDS.
- 19 CONTINUOUS LINEAR ACCENT LIGHT FIXTURE - RED. REFER TO ELECTRICAL.
- 20 EXISTING BOLLARD TO REMAIN AND TO BE PAINTED YELLOW.
- 21 CONTINUOUS LINEAR ACCENT LIGHT FIXTURE - WHITE. REFER TO ELECTRICAL. SEE DETAIL 17/A-6.2.
- 22 NOT USED
- 23 EYEBROW CANOPY AND VERTICAL ELEMENT WITH ACM PANELS. SEE DETAILS 3/A-6.2 AND 6/A-6.2.
- 24 NOT USED
- 25 WHITE PAINTED STRIPING AS INDICATED.
- 26 2.5" FIBER CEMENT TRIM TO MATCH PLANKS.
- 27 NOT USED
- 28 NEW 2024 PANEL SIGN ON EXISTING ROOF MOUNT PYLON. COORDINATE INSTALLATION WITH SIGN VENDOR. G.C. TO PAINT PYLON FRAME AND POST BLACK.
- 29 INFILL EXISTING OPENING WITH CONSTRUCTION AND BRICK VENEER TO MATCH SURROUNDING

NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET

KEY NOTES

G



NOTE:
SIGNAGE AND BUILDING ELEMENTS ARE NOT SHOWN ON THIS SHEET.
REFER TO "VENDOR SUPPLIED / INSTALLED ELEMENTS" GENERAL NOTE, THIS SHEET.

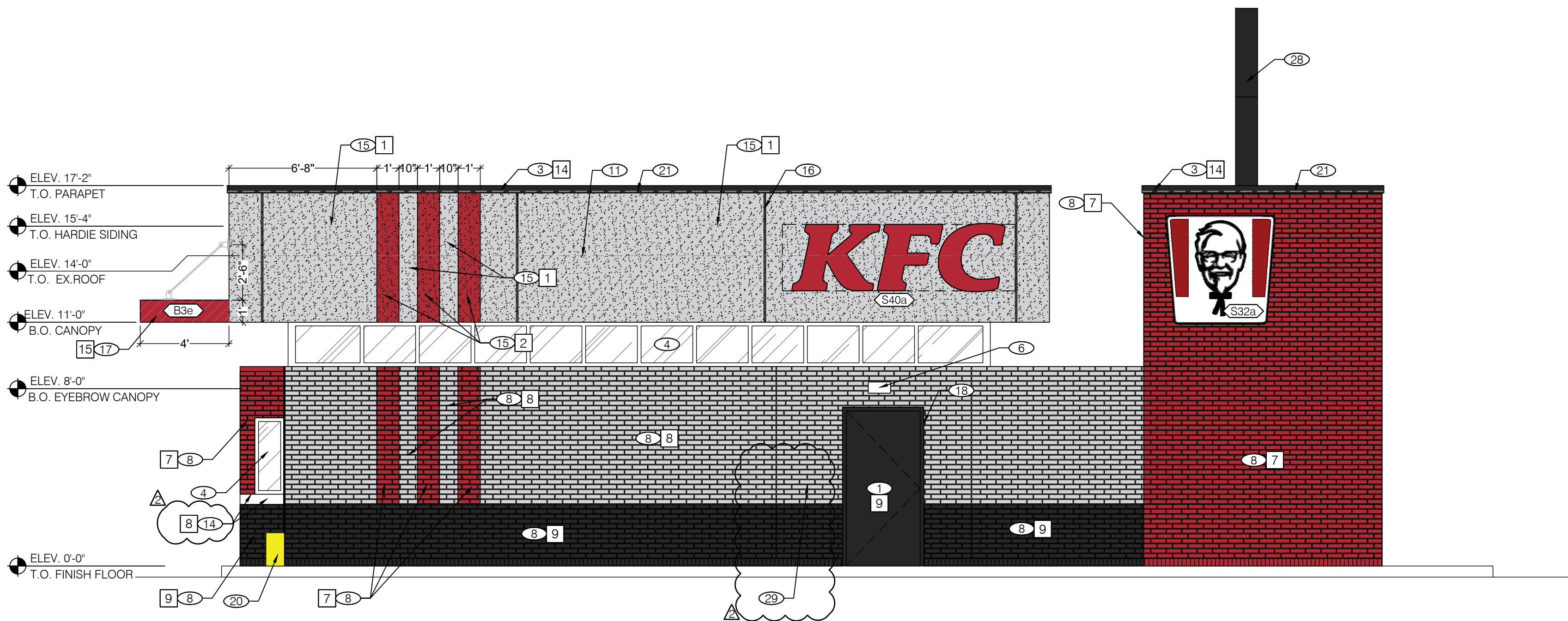
DRIVE THRU ELEVATION 1/4"=1'-0"

A

SYMBOL	EXTERIOR WALL AREA	MANUFACTURER	DESCRIPTION	NOTES
EIFS				
1 ef-1	GREY EIFS 1.5'	STO CORP.	MATCH BM PAPER WHITE 1590	
2 ef-2	RED EIFS 1.5'	STO CORP.	MATCH BM EXOTIC RED 2086-10	
3 ef-3	BLACK EIFS 3" (ALTERNATE)	STO CORP.	MATCH BM BLACK JACK 2133-20	EIFS ALTERNATE FOR 1c-1 PROVIDE 3/4" HOIZONTAL V-GROOVE SCORING 9" APART.
EXTERIOR CLADDING				
5 fc-1	FIBER CEMENT SIDING - HORIZ. SHIPLAP ON 2x2 FURRINGS W/ 1/2" PLYWOOD	JAMES HARDIE	ARTISAN SHIPLAP SIDING WITH MATCHING 2.5" TRIM PAINTED p-9	www.jameshardie.com Hardie Artisan Siding - Shiplap 9" Exposure
6 ac-1	ACM PANELS	ALPOLIC	MATCH BM EXOTIC RED 2086-10	
PAINT				
7 p-1	RED EXTERIOR PAINT	BENJAMIN MOORE	BM EXOTIC RED 2086-10	
8 p-2	WHITE EXTERIOR PAINT	BENJAMIN MOORE	BM WEDDING VEIL 2125-70	
9 p-9	BLACK EXTERIOR PAINT	BENJAMIN MOORE	BM BLACK JACK 2133-20	
10 p-10	GREY EXTERIOR PAINT	BENJAMIN MOORE	BM PAPER WHITE 1590	
WOOD				
11 w-1	EXTERIOR WOOD FACADE (LIGHT)	IDENTITY WOOD PRODUCTS	COLOR: KFC BISCUIT	1/2 OF EACH. SEE 18/A6.1 FOR PATTERN. SUBMIT MOCK UP TO OWNER / ARCHITECT FOR APPROVAL.
12 w-2	EXTERIOR WOOD FACADE (MEDIUM)	IDENTITY WOOD PRODUCTS	COLOR: KFC FINGER LICKING	
13 w-3	EXTERIOR WOOD FACADE (DARK)	IDENTITY WOOD PRODUCTS	COLOR: KFC ORIGINAL RECIPE	
METAL TRIM				
14 m-3	EXTERIOR METAL TRIM (BLACK)		MATCH BM BLACK JACK 2133-20	
15 m-1	EXTERIOR METAL TRIM (RED)		MATCH BM EXOTIC RED 2086-10	

EXTERIOR FINISH SCHEDULE

F



REAR ELEVATION 1/4"=1'-0"

B

MISCELLANEOUS:

A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

B. SEE FINISH SCHEDULE ON SHEET A7.3 FOR MORE INFORMATION.

SEALERS:

A. PROVIDE SEALANT PER MFR'S SPECIFICATIONS AT ALL WALL AND ROOF PENETRATIONS.

B. PROVIDE SEALANT PER MFR'S SPECIFICATIONS AT ALL STOREFRONT, STOREFRONT DOOR, WINDOW AND SERVICE DOOR FRAMES @ HEAD AND JAMB ONLY. DO NOT SEAL SILL AT WINDOWS.

VENDOR SUPPLIED / INSTALLED ELEMENTS:

GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

TAG	ITEM DESCRIPTION	SIGNAGE DIMENSIONS	SIGNAGE AREA	ELEC
B3e	DT WINDOW CANOPY - SIGNAGE VENDOR	N/A	N/A	YES
S39a	KFC CHANNEL LETTERS - WHITE (USE PROPORTIONAL SIZED BUCKET 60")	2'-6"H X 8'-2.3"W	20.5 S.F.	YES
S39b	KFC CHANNEL LETTERS - WHITE (ALTERNATE - USE PROPORTIONAL SIZED BUCKET 48")	2'-0"H X 6'-6.6"W	13.1 S.F.	YES
S40a	KFC CHANNEL LETTERS - RED (USE PROPORTIONAL SIZED BUCKET 60")	2'-6"H X 8'-2.3"W	20.5 S.F.	YES
S40b	KFC CHANNEL LETTERS - RED (ALTERNATE - USE PROPORTIONAL SIZED BUCKET 48")	2'-0"H X 6'-6.6"W	13.1 S.F.	YES
S28a	11 HERBS & SPICES - STENCIL	12'-0" DIA.	37.7 S.F.	NO
S30a	29.5" HIGH KENTUCKY FRIED CHICKEN WHITE STACKED LETTERS	8'-0" H X 7'-4.25"W	58 S.F.	NO
S31e	POSTER FRAME - ON DISPLAY	45"H X 27"W	8.44 S.F.	NO
S32a	ILLUMINATED BUCKET WITH COLONEL ONLY (STANDARD)	60" X 60"	25 S.F.	YES
S32b	ILLUMINATED BUCKET WITH COLONEL ONLY (ALTERNATE)	48" X 48"	16 S.F.	YES
S35	IT'S FINGER LICKIN' GOOD STENCIL	7'-6"H X 13'-5" W	100.7 S.F.	NO

NOTES:

- FOR WINDOW DECALS AND SIGNAGE, REFER TO INTERIOR ELEVATIONS SHEET A8.0 AND SIGNAGE SCHEDULE ON SHEET A7.3.
- REFER TO GRAPHICS PACKAGE FOR ADDITIONAL INFORMATION.

EXTERIOR GRAPHICS

C



KFC



TESSERE

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed architect under the laws of the state of Iowa.

Lee Manske Date

License number 07053
Renewal date 06/30/2025
Pages or sheets covered by this seal include Title, Site and Architectural.

21689R24001

REVISION:
Mark Date By
04.01.2025 MEW
OWNER COMMENTS

PROJECT TITLE
DT1800
RED

2615 GRAND AVE
AMES, IA 50010

STORE NO: C029078
ISSUE DATE 09.11.2024

SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NO.

A-4.1

ATTACHMENT C: Adaptive Reuse Plan Criteria

Sec. 29.306. ADAPTIVE REUSE.

(1) **Purpose.** The purpose of these adaptive reuse provisions is to foster the renovation and reuse of structures that have historic, architectural, or economic value to the City and are vacant or at risk of becoming under- utilized, vacant or demolished.

(2) **Qualifying Adaptive Reuses.** Any proposal for the adaptive reuse of a structure or group of contiguous structures, whether or not the proposal involves one or more Nonconforming Uses, Nonconforming Structures, and/or Nonconforming Lots, shall qualify for City Council review if the proposal meets all of the following conditions:

(a) The proposed adaptive reuse must be residential, commercial, or a combination of such uses except if it is located in an industrial zone. If the proposed adaptive reuse is located in an industrial zone, it may be devoted to any use or uses that the City Council finds compatible with the uses permitted in the industrial zone. All adaptive reuses proposed in industrial zones, except industrial uses, require a Special Use Permit.

(b) The structure or group of structures proposed for adaptive reuse must have historic, architectural, or economic value to the City justifying renovation and preservation, as determined by the City Council.

(c) The City Council must determine that the long-term benefits of the proposed adaptive reuse outweigh any negative impact on the neighborhood of the proposed project and on the City, as compared with the alternative of having the structures demolished or remaining vacant or under-utilized.

(d) In all matters relative to the administration of the Adaptive Reuse requirements, the City Council shall obtain a recommendation from the Historic Preservation Commission on all structures that are determined to have architectural or historic value.

(3) **Adaptive Reuse Performance Standards.** If the City Council determines that a proposed project qualifies for consideration as an adaptive reuse, then the City Council may waive some or all of the applicable Zone Development Standards and General Development Standards set forth in Article 4, so long as the project conforms to the following:

(a) The renovation and remodeling of structures for adaptive reuse may not destroy or obscure essential architectural features. In addition, such architectural features must be enhanced to the extent that it is feasible and prudent to do so.

(b) Where landscaping and public space required by Section 29.403 cannot be provided on site, any area on site that is available for landscaping shall be so utilized. When the City grants permission, the owner or operator of the site must also use areas within the public right-of-way and adjacent to the site to satisfy landscaping requirements.

(c) Where necessary parking cannot be provided on site, reasonable provision for parking shall be provided off site.

(4) **Adaptive Reuse Procedures.** Any property in any zone is eligible for adaptive reuse status if it meets the requirements of this Section 29.306, unless

otherwise limited by the Use Table for the zone. Submission and review of a project qualified for adaptive reuse shall be in accordance with the procedures set forth in Section 29.1502(4)(c), Major Site Development Plan.

Attachment D Major Site Development Plan Criteria

- 1. The design of the proposed development shall make adequate provisions for surface and subsurface drainage to limit the rate of increased runoff of surface water to adjacent and downstream property.***

Impervious coverage is proposed to be reduced. As a redevelopment site, it does not trigger the requirement for a stormwater management plan. Public Works has reviewed existing site grades and, generally, the site will remain unchanged and will drain in the same manner as it does today.

- 2. The design of the proposed development shall make adequate provision for connection to water, sanitary sewer, electrical, and other utility lines within the capacity limits of those utility lines.***

The existing utilities were reviewed and found adequate to support the anticipated load of the proposed development. Only a new transformer is required.

- 3. The design of the proposed development shall make adequate provision for fire protection through building placement, acceptable location of flammable materials, and other measures to ensure fire safety.***

The fire inspector has reviewed access and fire truck circulation and found that the needs of the fire department are met.

No sprinkler system is required if all rooms in the basement remain without doors and accessible with a hose.

All grease will remain in jugs provided by the manufacturer prior to use.

- 4. The design of the proposed development shall not increase the danger of erosion, flooding, landslide, or other endangerment to adjoining and surrounding property.***

It is not anticipated that this proposed development will be a danger due to its location on the site. Grading of the site will generally remain unchanged.

- 5. Natural topographic and landscape features of the site shall be incorporated into the development design.***

The developer is working with the existing topography of the site as a 100% developed site.

- 6. The design of the interior vehicle and pedestrian circulation shall provide for convenient flow of vehicles and movement of pedestrians and shall prevent hazards to adjacent streets or property.***

A new sidewalk will be installed from the public sidewalk on Grand Avenue connecting to the building.

The drive through will use the parking lot access aisle closest to Grand for queueing to provide adequate stacking without interfering with the flow of traffic using the more primary access aisles.

- 7. *The design of outdoor parking areas, storage yards, trash and dumpster areas, and other exterior features shall be adequately landscaped or screened to minimize potential nuisance and impairment to the use of adjoining property.***

The dumpster area will be screened with as required by code and grasses that will reach five feet at maturity.

The missing landscaping along Grand Avenue that provides screening of the parking area will be replaced as a condition of approval.

- 8. *The proposed development shall limit entrances and exits upon adjacent streets in order to prevent congestion on adjacent and surrounding streets and in order to provide for safe and orderly vehicle movement.***

All access into the development will remain at their existing locations. The proposed drive-through is designed to allow for queuing on site with minimal interruption to overall circulation of the site.

- 9. *Exterior lighting shall relate to the scale and location of the development in order to maintain adequate security, while preventing a nuisance or hardship to adjacent property or streets.***

All lighting will be required to comply with the City's Outdoor Lighting code, Section 29.411. Building lighting must also meet down lighting requirements. A lighting plan compliant with City Standards is required as a condition of approval.

- 10. *The proposed development shall ensure that dust and other forms of air pollution, noise disturbances, odor, glare, and other nuisances will be limited to acceptable levels as prescribed in other applicable State and City regulations.***

The proposed development is not expected to generate any nuisances.

- 11. *Site coverage, building scale, setbacks, and open spaces shall be in proportion with the development property and with existing and planned development and structures, in adjacent and surrounding property.***

The proposal is for reuse of a former bank building and site as a fast-food restaurant and drive-through. No new buildings will be constructed. The existing building was part of the previous ADP.